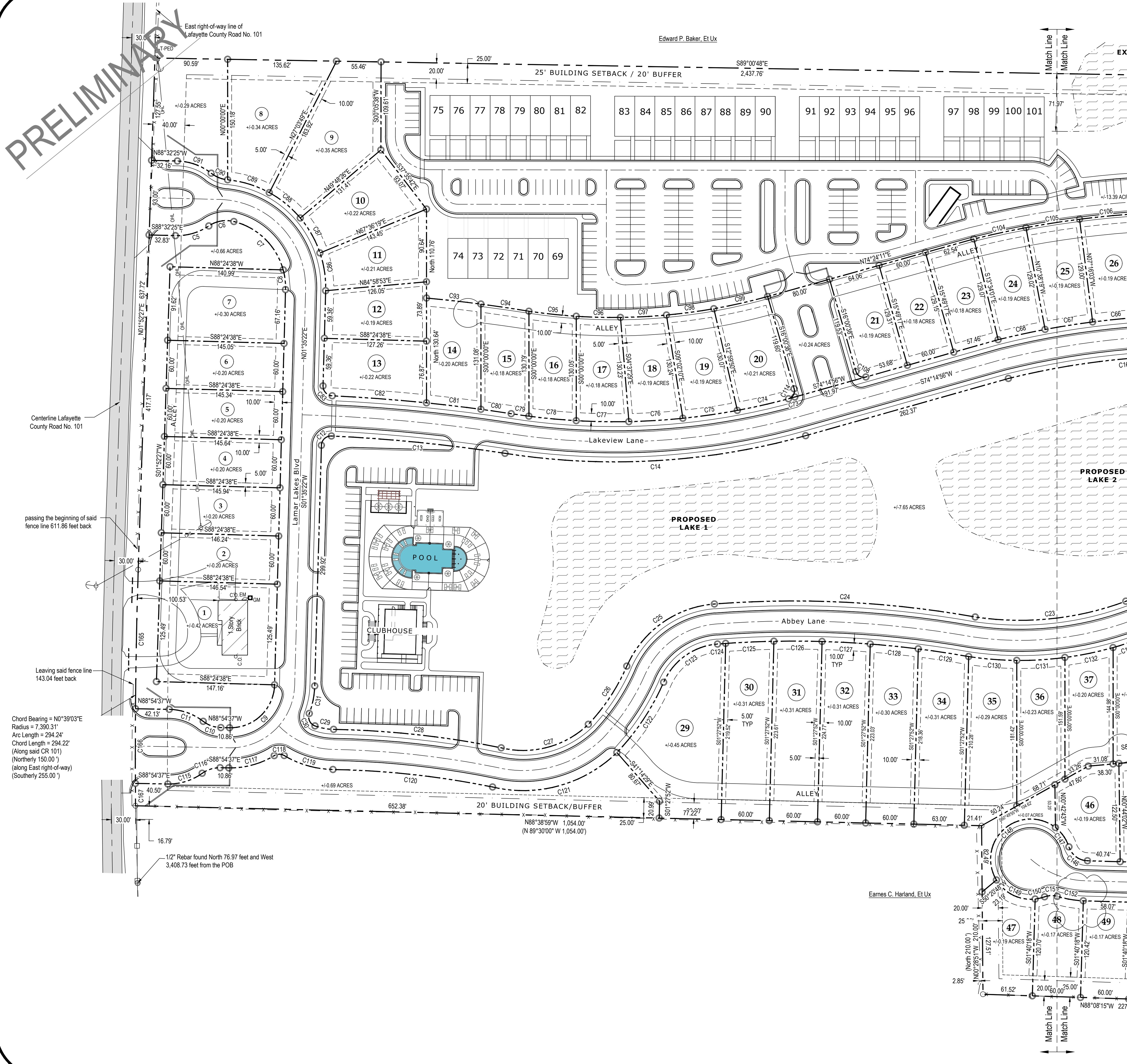
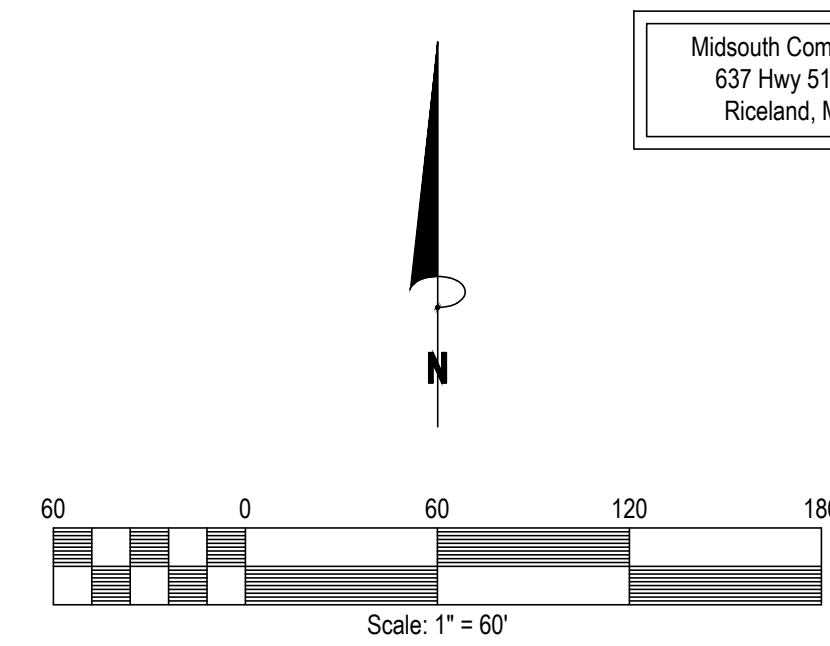


PRELIMINARY



Lamar Lakes, A Condominium Phase 1

Total Area +/- 54.45 Acres
178 Residential units



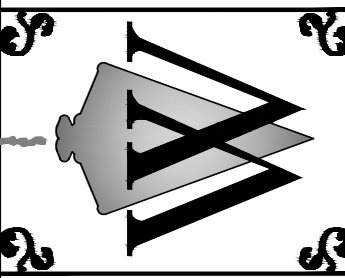
LEGEND

- | | |
|----------------------------------|-----------------------|
| RIGHT OF WAY LINES | SECTION CORNER |
| PROPERTY LINES | PROPERTY CORNERS |
| SECTION TIE | MONUMENTS FOUND |
| CENTERLINE ROAD | BENCHMARK |
| APPARENT ADJOINING PROPERTY LINE | UTILITY POLES |
| UTILITY EASEMENT LINES | UTILITY WIRE |
| OVERHEAD LINES | TELEPHONE PEDESTAL |
| BARBED WIRE FENCE LINES | ELECTRIC METERS |
| BUILDING AREAS | GAS METERS |
| COVERED AREAS | WATER METERS |
| CONCRETE AREAS | AIR CONDITIONING UNIT |
| ASPHALT AREAS | CLEANOUT |
| GRAVEL AREAS | CORRUGATED METAL PIPE |
| WATER AREAS | HDPE |
| LEVEE AREAS | POB |
| RIP RAP | POC |
| PLAT CALLS | POINT OF BEGINNING |
| DEED CALLS | POINT OF COMMENCEMENT |
| MEASURED CALLS | |

(All symbols in legend may not be used on current survey.)

- Notes:
- This is a Class "B" Survey as set forth in Appendix "A" of the Standards of Practice for Land Surveying in the State of Mississippi.
 - Global Positioning System (GPS) was used to locate or establish Boundary Survey Points on subject survey and points were derived by CGCS Real Time Network, NAD83(2011) CORS epoch 2010.00.
 - Field survey completed June 10, 2025.
 - All bearings are based on Mississippi East State Plane Coordinate System Grid North as determined by GPS Observations with a Convergence of (0°22'35") and a scale factor of 0.99999762 calculated at The Point of Beginning.
 - Horizontal Datum based on NAD 83(2011) and Vertical Datum based on NAVD 88 as posted on below station:
CGCS Real Time Network
Designation: Oxford CORS ARP
CORS ID: MSOX
PID: DK6714
Lat: 34° 21' 50.93655"
Long: -89° 31' 56.51634"
 - Subject survey is Zoned A-1 "Rural" as per Lafayette County Zoning Map Dated January 18, 2018 and is subject to the regulations, setbacks, and easements found in the Lafayette County Zoning Ordinance latest addition.
 - This property is subject to any right-of-way or easements recorded or unrecorded shown or not shown on plat of survey.
 - All property corners set are 1/2" rebar with survey cap (WEC - COA 159), unless otherwise stated.
 - Underground utilities shown on this survey represent surface markings of the utilities on site by various utility owners. Underground utilities may exist which were not marked by various utility owners. Utility parameters are shown as provided by owners.
 - BM: rebar set near the edge of pavement with an known elevation of 401.85, said rebar located South 235.23 feet and West 1.097.03 feet from the POB.
 - Deed References:
A. Instrument No. 20243741 B. Instrument No. 20242039 C. Instrument No. 20242177
D. Instrument No. 20182796 E. Instrument No. 200802218 F. Instrument No. 20178717
G. Instrument No. 20205704 H. Instrument No. 20221920 I. Instrument No. 20211063
J. Instrument No. 201612787 K. Instrument No. 20211212 L. Instrument No. 20201708
M. Instrument No. 20188547 N. Instrument No. 201010038 O. Instrument No. 202113960
P. Instrument No. 20248418 Q. Instrument No. 202109281 R. Instrument No. 20222455
S. Instrument No. 20223237 T. Instrument No. 20223996 U. Instrument No. 20229226
V. Official Plat of Oakmont Subdivision, Phase 3 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet C, Slide 83.
W. Official Plat of Oakmont Subdivision, Phase 4 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet C, Slide 83.
X. Official Plat of Briarwood Subdivision, Phase 1 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet C, Slide 85.

WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors



Condominium Plat for:
Lamar Lakes, a Condominium, Phase 1
A tract of land being a fraction of the North Half
(N 1/2) of Section 4, Township 8 South, Range 3 West,
Lafayette County, Mississippi

REVISION	DATE

Scale: 1" = 60'
Date: 04-20-2026
File: SS-244076 (Steve Bryan CR 11/1/Condo Plat LP Steve Bryan Condo Plat_042026.dwg)
Proj.No.: SS-244076
Drawn By: BM
Checked By: RSD
Sheet Title:

Condo Plat
Sheet No.:
1 of 4

PRELIMINARY

Phase 1

178 Residential units



- (All symbols in legend may not be used on current survey.)

[illegible]

The above description is based on Mississippi East State Plane Coordinate System Grid North as determined by GPS Observations with a Convergence of (-0°22'56") and a scale factor of 0.99999762 calculated at The Point of beginning. Horizontal Datum based on NAD 83(2011) and Vertical Datum based on NAVD 88 as posted on station. CGC02 Real Time Network, CORS- This is a GPS Continuously Operating Reference Station, Designation- Oxford CORS APP. MSOX, PID - DK6714, Lat. -34° 21' 50.93055", Long. -89° 31' 56.51634". All property corners set are 1/2" rebar with survey cap (WEC - COA 159). This Description was prepared by Williams Engineering Solutions, Inc. (662-626-9675)

Richard S. Daniels, PLS No. 02922

Scale: 1" = 60'

Date: 04-20-2026

File: SB-244076 (Steve Bryan CR 101) (Condo Plat
WP Steve Bryan Condo Plat_042026.dwg

Proj.No.:	SB-244076
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Drawn By:	BM
Checked By:	RSD

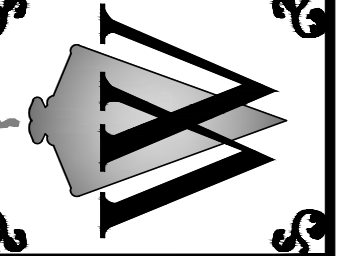
Sheet Title:

Condo
Plat

Sheet No.:

WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors

720 NORTH LAUREL BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.238.9675



Lamar Lakes, A Condominium, Phase 1

Total Area +/- 54.45 Acres
178 Residential units

Midsouth Companies, LLC.
637 Hwy 51 N, Suite J
RiceLand, MS 39157

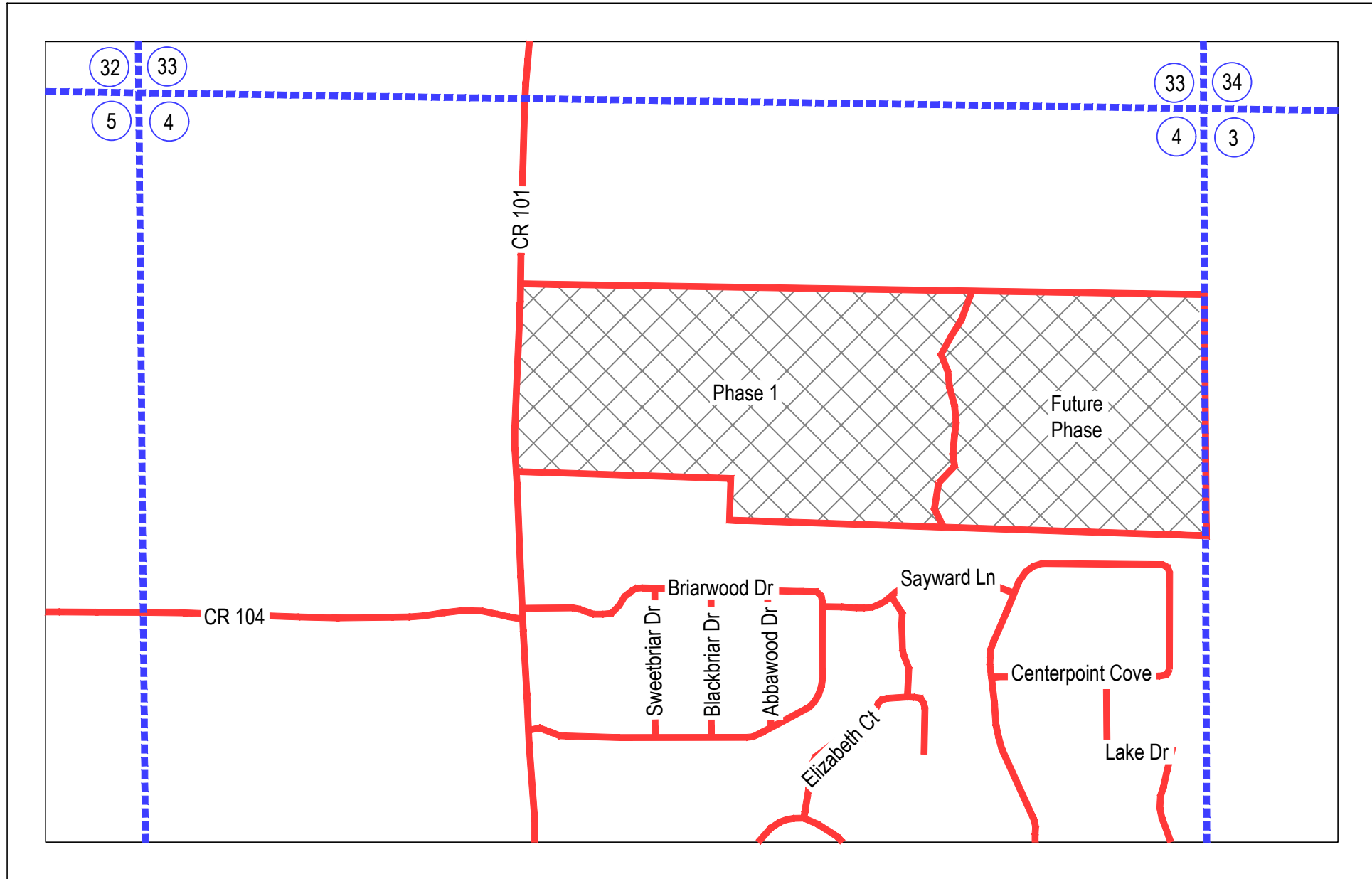
PRELIMINARY

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C1	160.99'	169.63'	N32° 48' 40"E	155.01'
C2	87.16'	93.21'	N33° 49' 49"E	84.02'
C3	170.31'	107.25'	N23° 21' 32"E	152.97'
C4	95.49'	45.24'	N31° 32' 44"E	78.73'
C5	43.92'	71.00'	N73° 44' 12"E	43.23'
C6	32.72'	39.00'	N80° 03' 00"E	31.77'
C7	90.16'	85.00'	S45° 31' 31"E	86.00'
C8	24.81'	85.00'	S06° 46' 26"E	24.73'
C9	85.91'	55.00'	S46° 20' 22"W	77.44'
C10	23.75'	37.00'	N70° 31' 11"W	23.35'
C11	45.58'	71.00'	N70° 31' 11"W	44.80'
C12	19.08'	12.00'	N47° 09' 03"E	17.14'
C13	217.36'	2076.39'	S84° 17' 19"E	217.26'
C14	377.96'	880.37'	N86° 38' 01"E	375.07'
C16	289.53'	969.13'	N84° 36' 13"E	288.46'
C17	18.07'	12.00'	S43° 42' 15"E	16.41'
C19	90.38'	165.00'	S16° 15' 49"E	89.26'
C20	19.10'	12.00'	S13° 38' 21"W	17.15'
C21	27.47'	130.36'	S65° 16' 17"W	27.42'
C22	158.03'	4191.32'	S71° 12' 44"W	158.02'

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C23	190.69'	376.53'	S84° 01' 36"W	188.66'
C24	326.08'	1287.16'	N87° 09' 15"W	325.21'
C25	140.49'	130.00'	S54° 37' 44"W	133.75'
C26	87.32'	251.51'	S33° 28' 07"W	86.89'
C27	117.22'	116.85'	S74° 53' 30"W	112.37'
C28	210.32'	1142.76'	N83° 42' 37"W	210.02'
C29	23.70'	71.89'	N79° 37' 17"W	23.59'
C30	19.04'	12.00'	N24° 42' 57"W	17.11'
C31	35.11'	105.00'	N11° 10' 05"E	34.94'
C33	10.31'	172.70'	S74° 08' 02"W	10.31'
C34	16.73'	12.00'	N67° 38' 48"W	15.40'
C35	46.91'	50.00'	N53° 44' 39"W	45.21'
C36	47.69'	50.00'	S72° 03' 02"W	45.91'
C37	32.76'	50.00'	S25° 57' 20"W	32.17'
C38	36.37'	50.00'	S13° 39' 02"E	35.57'
C39	17.03'	12.00'	S07° 42' 41"W	15.64'
C40	39.48'	155.01'	S55° 40' 28"W	39.38'
C41	155.85'	155.01'	N88° 13' 29"W	149.37'
C42	14.57'	7.50'	N02° 29' 28"W	12.38'
C43	51.78'	63.21'	N29° 41' 22"E	50.35'

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C44	44.00'	63.21'	N13° 43' 16"W	43.12'
C45	49.46'	63.21'	N56° 04' 51"W	48.21'
C46	41.06'	63.21'	S82° 53' 41"W	40.34'
C47	14.57'	7.50'	N60° 03' 55"W	12.38'
C48	61.13'	722.39'	N10° 39' 39"W	61.11'
C49	94.43'	722.39'	N16° 49' 48"W	94.37'
C50	151.59'	185.00'	N44° 02' 15"W	147.38'
C51	134.36'	115.00'	N34° 02' 28"W	126.85'
C52	20.57'	12.00'	N48° 31' 30"E	18.14'
C53	35.14'	969.46'	S81° 20' 25"E	35.14'
C54	422.00'	1335.30'	S89° 12' 41"E	420.24'
C55	251.15'	250.00'	S69° 52' 19"E	240.72'
C56	135.24'	271.14'	S55° 22' 58"E	133.85'
C57	64.63'	102.90'	S78° 11' 05"W	63.57'
C58	57.90'	102.90'	N67° 42' 15"W	57.14'
C59	84.06'	221.14'	N51° 58' 58"W	83.55'
C60	301.21'	300.00'	N69° 51' 18"W	288.71'
C61	406.10'	1285.30'	N89° 12' 23"W	404.41'
C62	84.71'	1019.46'	N82° 40' 43"W	84.68'
C63	34.69'	1019.14'	N86° 02' 20"W	34.69'

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C64	62.99'	1019.14'	N88° 47' 05"W	62.98'
C65	59.94'	1019.14'	S87° 45' 36"W	59.93'
C66	59.42'	1019.14'	S84° 24' 18"W	59.41'
C67	59.94'	1019.14'	S81° 03' 00"W	59.93'
C68	59.85'	1019.14'	S77° 40' 58"W	59.84'
C73	8.14'	830.37'	S74° 37' 04"W	8.14'
C74	65.37'	830.37'	S77° 09' 14"W	65.35'
C75	68.59'	830.37'	S81° 46' 31"W	68.57'
C76	67.35'	830.37'	S86° 27' 55"W	67.33'
C77	65.63'	830.37'	N88° 56' 49"W	65.61'
C78	59.15'	830.37'	N84° 38' 31"W	59.14'
C79	22.33'	830.37'	N81° 49' 52"W	22.33'
C80	38.14'	2126.39'	N81° 48' 03"W	38.14'
C81	68.24'	2126.39'	N83° 14' 02"W	68.24'
C82	117.76'	2126.39'	N85° 44' 24"W	117.75'
C83	18.62'	12.00'	N42° 52' 06"W	16.81'
C86	47.79'	135.00'	N08° 33' 04"W	47.54'
C87	50.31'	135.00'	N29° 22' 05"W	50.02'
C88	50.14'	135.00'	N50° 41' 03"W	49.85'
C89	54.68'	135.00'	N72° 55' 41"W	54.31'



VICINITY MAP
(NTS)

OWNERS CERTIFICATE (DEVELOPER):

I, STEVE BRYAN, MANAGING MEMBER OF MIDSOUTH COMPANIES, LLC., OWNER OF THE TRACT OF LAND HEREIN DESCRIBED, CERTIFY THAT I DID CAUSE SAID LAND TO BE SUBDIVIDED AND PLATTED AS SHOWN ON THIS PLAT OF LAMAR LAKES, A CONDOMINIUM, PHASE 1. UTILITY EASEMENTS ARE DEDICATED TO THE PUBLIC AND/OR PRIVATE UTILITY COMPANIES WHICH SERVE THIS SUBDIVISION. SUCH SUBDIVISION AND DEDICATION IS THE OWNER'S OWN ACT AND DEED OF HIS OWN FREE WILL.

WITNESS MY HAND AND SIGNATURE THIS THE _____ DAY OF _____, 20_____.

SIGNED: _____
STEVE BRYAN
MANAGING MEMBER OF MIDSOUTH COMPANIES, LLC.

NOTARY'S CERTIFICATE

State of _____
County of _____

Personally appeared before me, the undersigned authority in and for the said county and state, on this the _____ day

of _____, 20____, within my jurisdiction, the within named Steve Bryan, managing member of Midsouth Companies, LLC., who acknowledged that he is the owner of the described Lamar Lakes, A Condominium, Phase 1, and that in said representative capacity, he executed the above and foregoing instrument, after first having been duly authorized to do so.

My Commission Expires _____

Notary Public _____

Declaration of Condominium:

The property located in Lafayette Co., Mississippi, as shown on this plat is subject to the Declaration of Condominium which is set out in instrument recorded in instrument number _____ of the deed records of Lafayette County, Mississippi.

Chancery Court Clerk _____

STATE OF MISSISSIPPI, COUNTY OF LAFAYETTE

I hereby certify that the Condominium plat shown hereon was filed for record in my office at _____ o'clock _____.m.,

on the _____ day of _____, 20____, and was immediately entered upon the proper index and

duly recorded in Plat Cabinet - _____, Slide - _____.

Chancery Court Clerk _____

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C90	22.32'	39.00'	N68° 08' 01"W	22.02'
C91	45.61'	71.00'	N70° 08' 16"W	44.83'
C93	68.19'	1787.39'	S83° 36' 10"E	68.19'
C94	60.51'	1787.39'	S81° 32' 24"E	60.50'
C95	59.23'	718.32'	S83° 55' 38"E	59.21'
C96	55.13'	718.32'	S88° 29' 18"E	55.12'
C97	57.34'	718.32'	N87° 01' 34"E	57.32'
C98	59.61'	718.32'	N82° 21' 43"E	59.59'
C99	68.71'	718.32'	N77° 14' 39"E	68.68'
C104	66.45'	1153.70'	N77° 44' 42"E	66.44'
C105	67.53'	1153.70'	N81° 04' 19"E	67.52'
C106	67.80'	1153.70'	N84° 25' 57"E	67.79'
C107	61.76'	1153.70'	N87° 38' 58"E	61.75'
C108	15.66'	10.00'	S60° 52' 51"E	14.11'
C109	14.65'	52.82'	N77° 07' 26"E	14.60'
C110	2.97'	2.00'	S67° 44' 08"E	2.70'
C114	15.87'	10.00'	S29° 26' 39"W	14.25'
C115	45.58'	71.00'	N72° 41' 56"E	44.80'
C116	23.75'	37.00'	N72° 41' 56"E	23.35'
C117	59.43'	105.00'	N74° 52' 25"E	58.64'

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C118	13.05'	12.00'	N89° 48' 19"E	12.41'
C119	63.82'	121.89'	S74° 02' 46"E	63.09'
C120	200.27'	1092.76'	S83° 43' 50"E	199.99'
C121	167.63'	166.85'	N74° 30' 26"E	160.67'
C122	105.75'	301.51'	N33° 35' 04"E	105.21'
C123	86.40'	80.00'	N54° 38' 53"E	82.26'
C124	10.19'	1237.16'	N85° 49' 28"E	10.19'
C125	60.15'	1237.16'	N87° 27' 12"E	60.15'
C126	60.02'	1237.16'	S89° 45' 51"E	60.01'
C127	60.03'	1237.16'	S86° 59' 03"E	60.02'
C128	60.18'	1237.16'	S84° 12' 03"E	60.17'
C129	63.50'	1237.16'	S81° 20' 12"E	63.50'
C130	60.14'	426.53'	S85° 24' 30"E	60.09'
C131	60.16'	426.53'	N86° 30' 42"E	60.11'
C132	61.31'	426.53'	N78° 21' 10"E	61.26'
C133	33.87'	426.53'	N71° 57' 36"E	33.86'
C134	29.23'	4241.32'	N72° 04' 44"E	29.23'
C135	113.17'	4241.32'	N71° 07' 02"E	113.17'
C136	15.86'	4241.32'	N70° 14' 44"E	15.86'
C137	53.91'	180.36'	N62° 34' 10"E	53.71'

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C138	14.55'	12.00'	N88° 44' 55"E	13.68'
C139	31.68'	165.00'	S62° 00' 36"E	31.64'
C140	110.62'	135.00'	S44° 02' 15"E	107.55'
C141	131.39'	675.00'	S14° 59' 14"E	131.19'
C142	25.01'	675.00'	S08° 20' 57"E	25.01'
C143	93.97'	205.00'	S20° 25' 09"E	93.15'
C144	18.00'	12.00'	S09° 24' 53"W	16.36'
C145	54.86'	80.00'	S72° 01' 33"W	53.79'
C146	30.77'	25.00'	N53° 03' 51"W	28.87'
C147	29.85'	50.00'	N34° 54' 01"W	29.41'
C148	139.08'	50.00'	S48° 18' 43"W	98.38'
C149	56.71'	50.00'	S63° 52' 10"E	53.72'
C150	12.10'	50.00'	N76° 42' 06"E	12.07'
C151	16.13'	25.00'	N88° 15' 10"E	15.85'
C152	32.91'	132.50'	S80° 22' 39"E	32.83'
C153	1.93'	132.50'	S87° 54' 39"E	1.93'
C154	39.20'	130.00'	N83° 02' 02"E	39.05'
C155	56.79'	130.00'	N61° 52' 57"E	56.34'
C156	16.21'	12.00'	N88° 04' 03"E	15.01'
C157	66.77'	205.00'	S62° 33' 49"E	66.47'

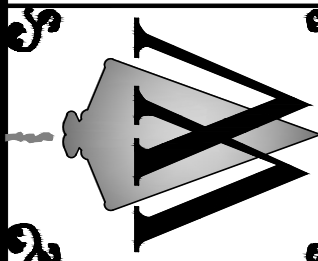
Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C158	109.60'	205.00'	S87° 12' 35"E	108.30'
C159	104.11'	205.00'	N62° 55' 32"E	103.00'
C160	56.39'	122.70'	N62° 34' 36"E	55.90'
C161	26.43'	39.13'	S22° 01' 12"W	25.93'
C162	28.84'	39.13'	S18° 26' 21"E	28.19'
C163	62.32'	204.72'	N71° 46' 18"E	62.08'
C164	60.22'	204.72'	N88° 55' 08"E	60.00'
C165	173.33'	7390.31'	S01° 07' 10"W	173.32'
C166	93.01'	7390.31'	S00° 05' 13"W	93.01'
C167	27.90'	7390.31'	S00° 22' 54"E	27.90'
C168	95.49'	45.24'	N31° 32' 44"E	78.73'
C169	170.31'	107.25'	N23° 21' 32"E	152.97'
C170	87.16'	93.21'	N33° 49' 49"E	84.02'
C171	160.99'	169.63'	N32° 48' 40"E	155.01'

SURVEYORS CERTIFICATE:

THIS IS TO CERTIFY THAT I HAVE DRAWN SUBJECT PLAT FROM AN ACTUAL ON THE GROUND SURVEY AND FROM DEEDS OF RECORD AND THAT THE PLAT REPRESENTS THE INFORMATION AND THAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____
SURVEYOR: Richard S. Daniels, PLS No. 02922

WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors



Condominium Plat for:
Lamar Lakes, a Condominium, Phase 1
A tract of land being a fraction of the North Half
(N 1/2) of Section 4, Township 8 South, Range 3 West,
Lafayette County, Mississippi

REVISION	DATE

Scale:	NTS
Date:	04-20-2026
File:	SB-244076 (Steve Bryan CR 101) Condo Plat LP Steve Bryan Condo Plat_042026.dwg
Proj.No.:	SB-244076
Drawn By:	BM
Checked By:	RSD

Sheet Title:

Curve Table
& Signature
Sheet

Sheet No.:

PRELIMINARY

PRELIMINARY

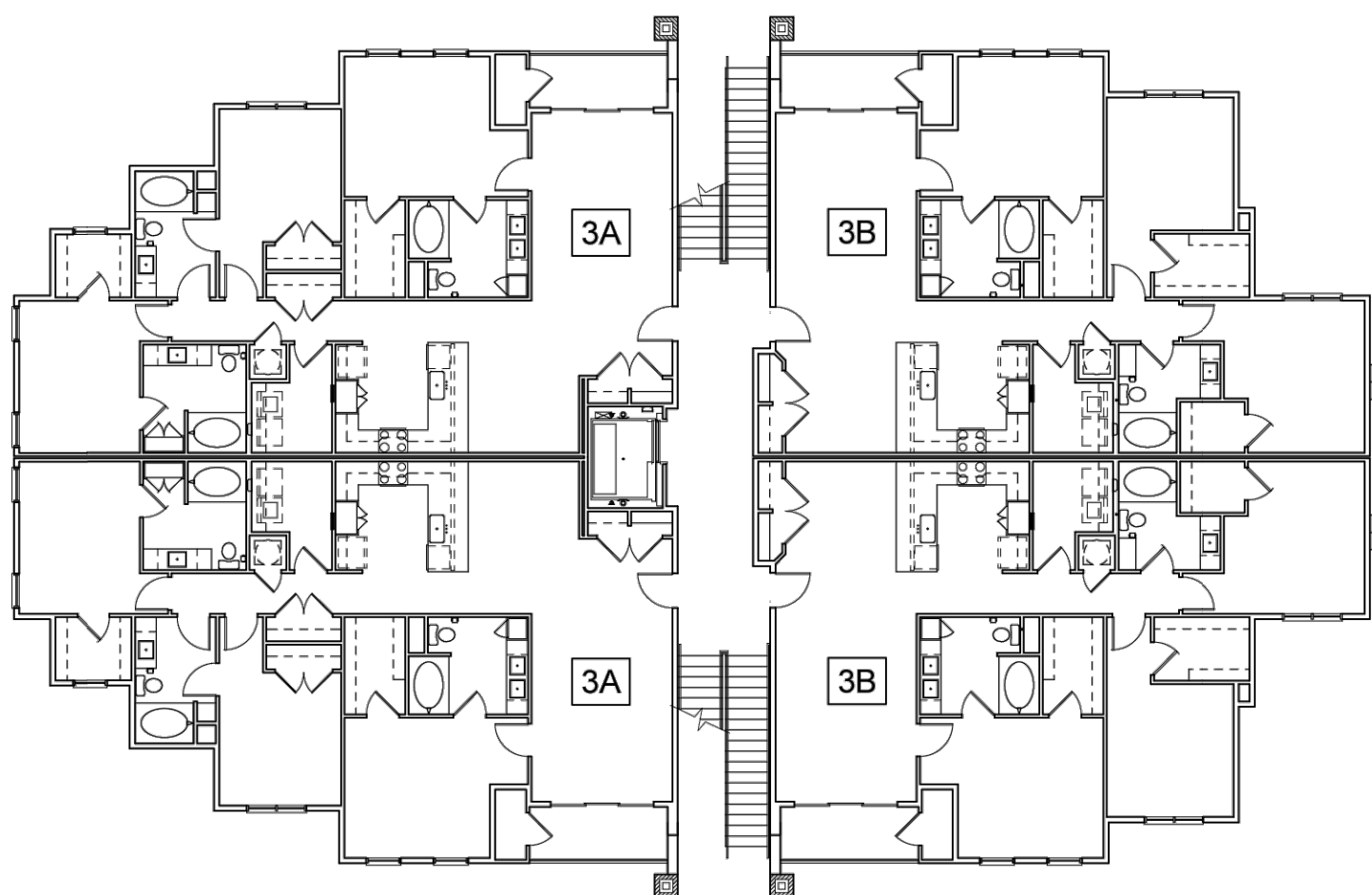
Lamar Lakes, A Condominium, Phase 1

Total Area +/- 54.45 Acres
178 Residential units

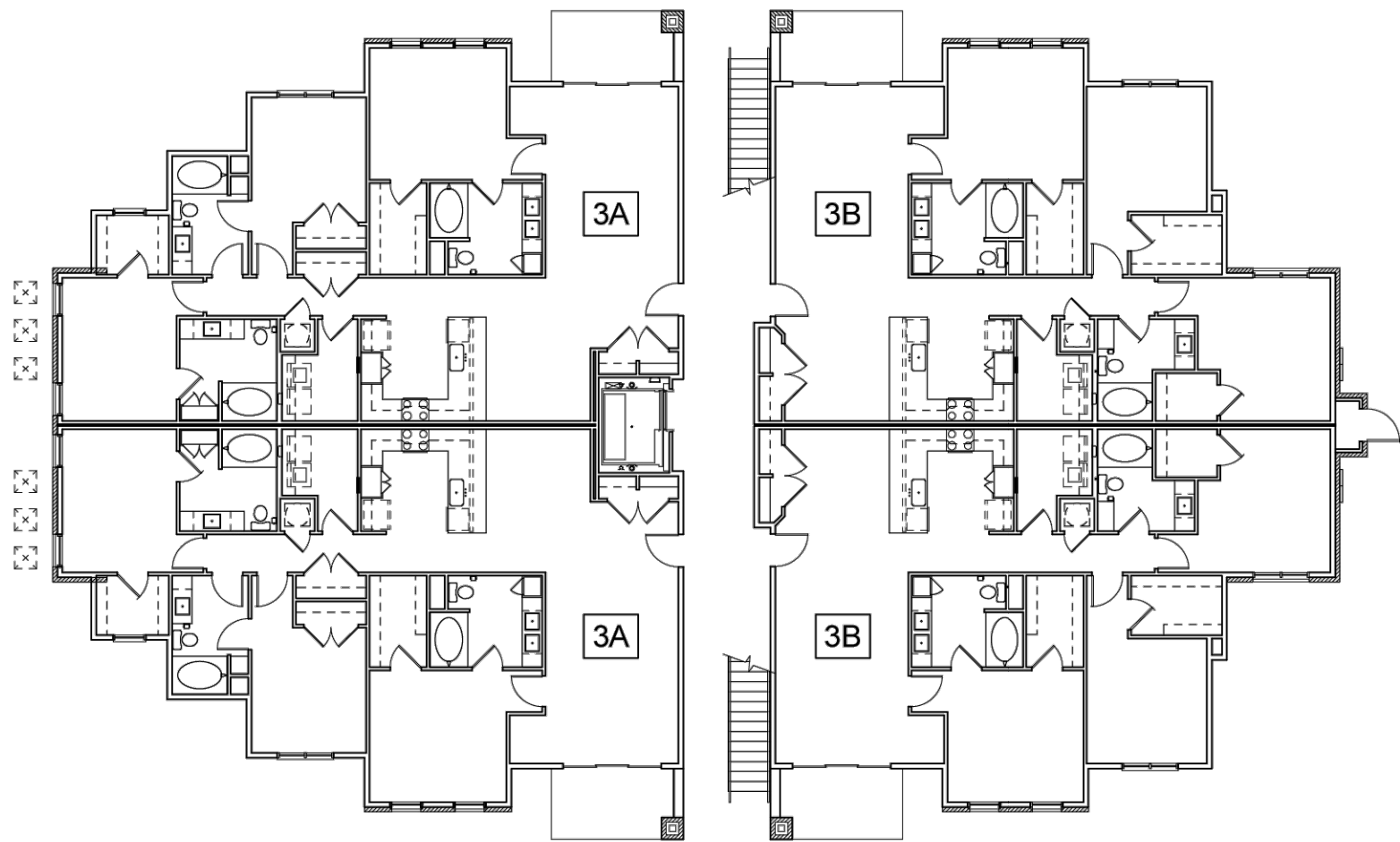
Midsouth Companies, LLC.
637 Hwy 51 N, Suite J
Rideland, MS 39157

Floor Plan A201
Units A-R

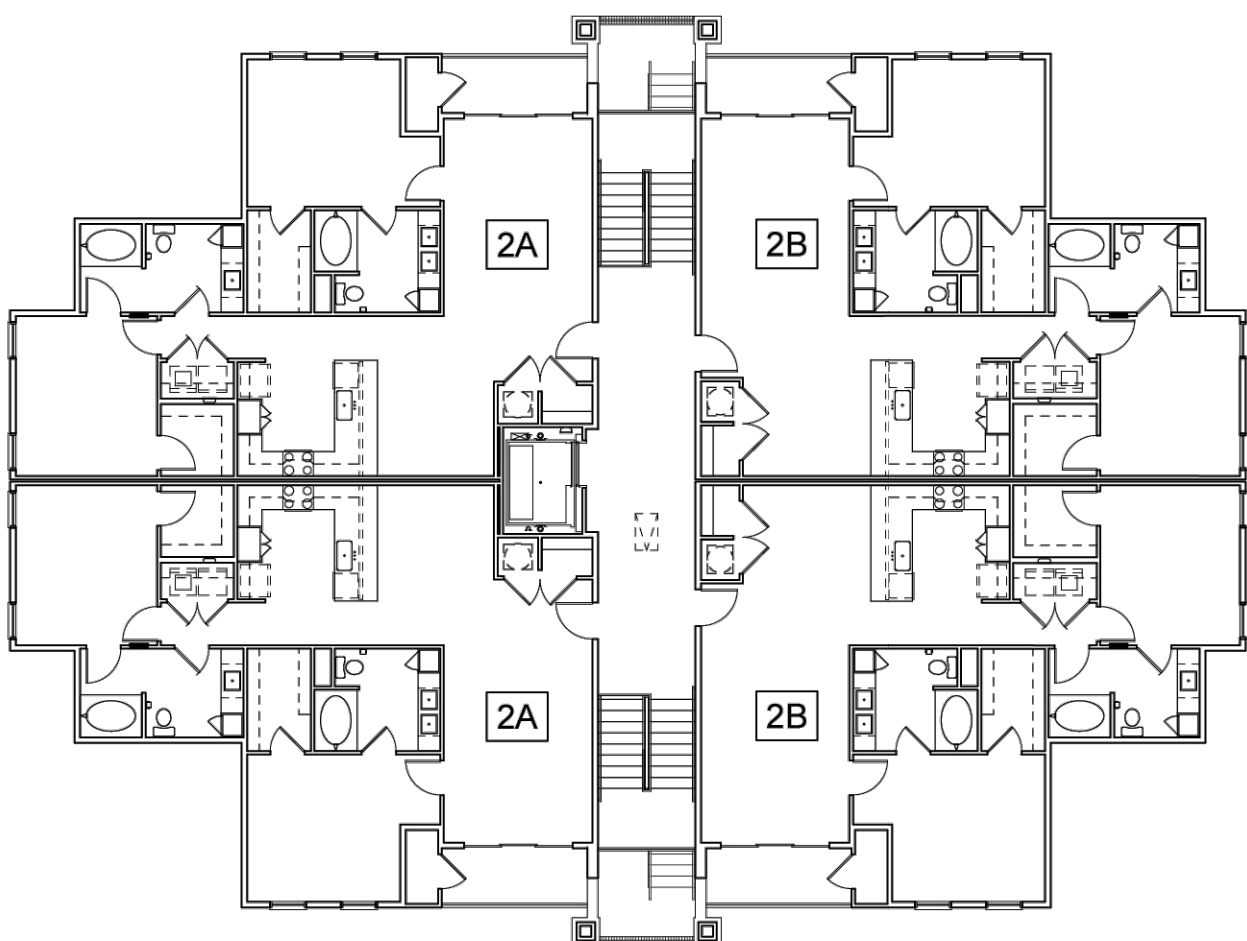
Garage Townhouse
Units 1-51



FIRST FLOOR PLAN



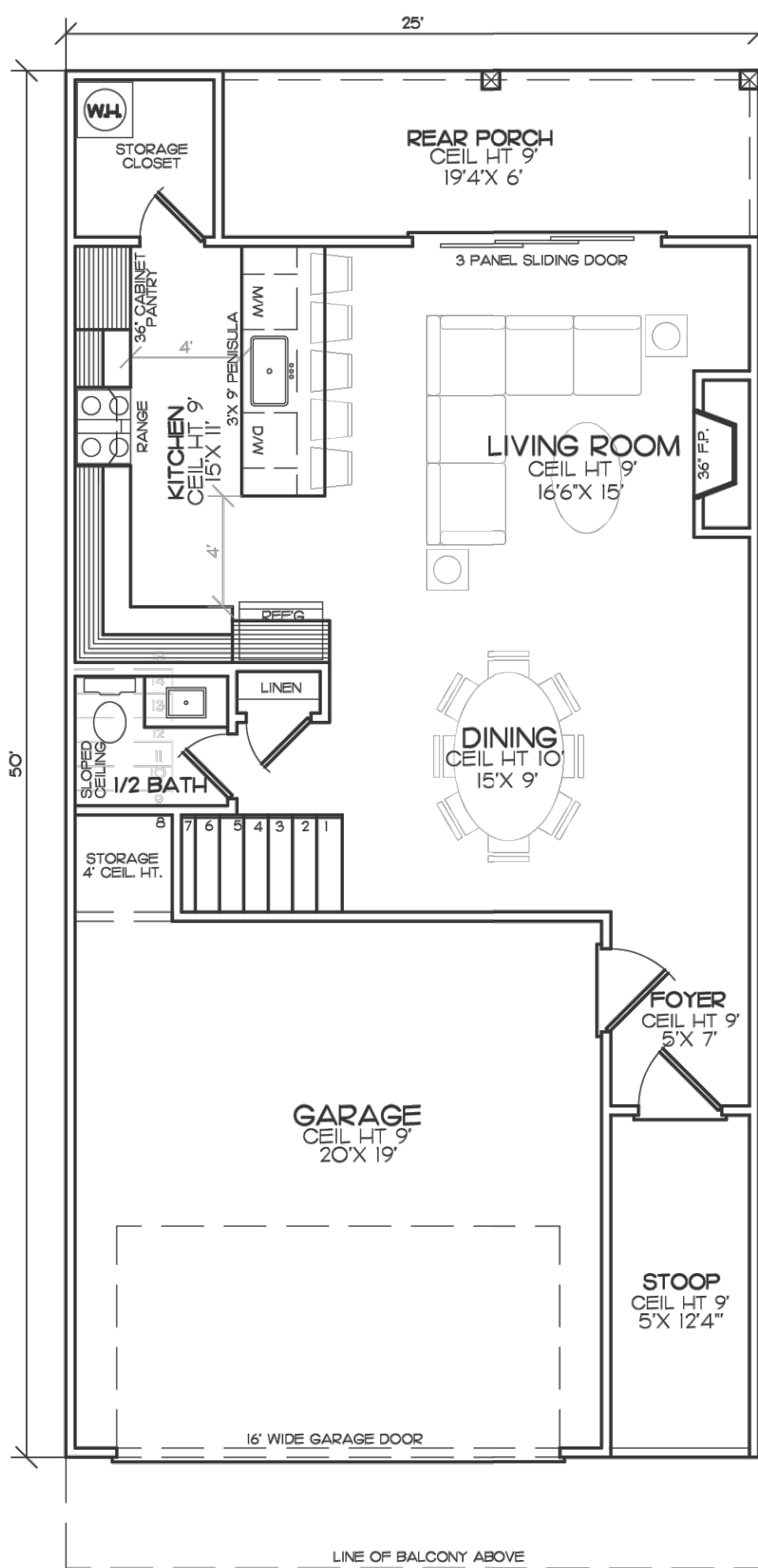
SECOND FLOOR PLAN



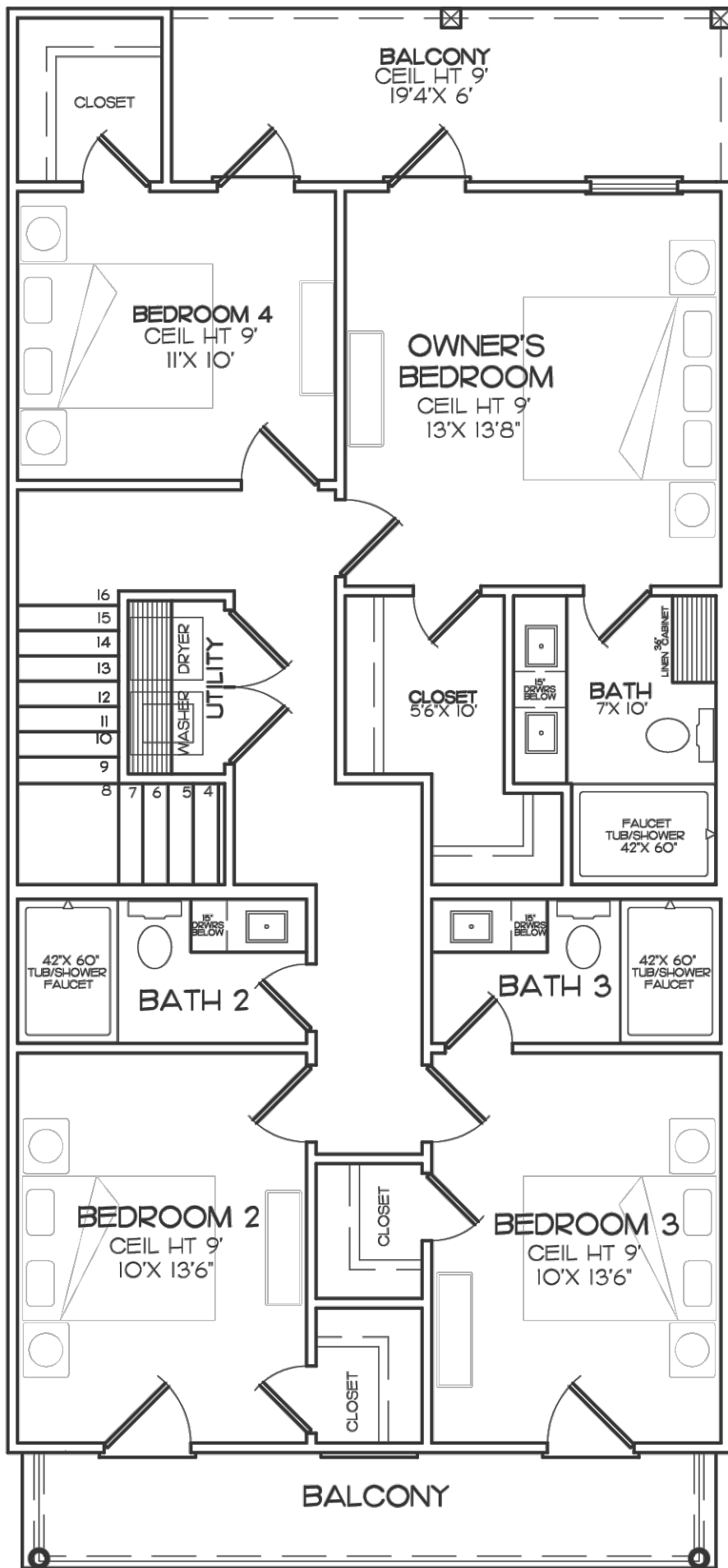
THIRD FLOOR PLAN

OPTION "A"
676 SQ FT FIRST FLOOR LIVING AREA
1107 SQ FT SECOND FLOOR LIVING AREA
1783 TOTAL LIVING AREA
2569 TOTAL AREA

4 BEDROOM 3 1/2 BATH
REAR PORCH
REAR BALCONY
FRONT BALCONY OPTION
DINING



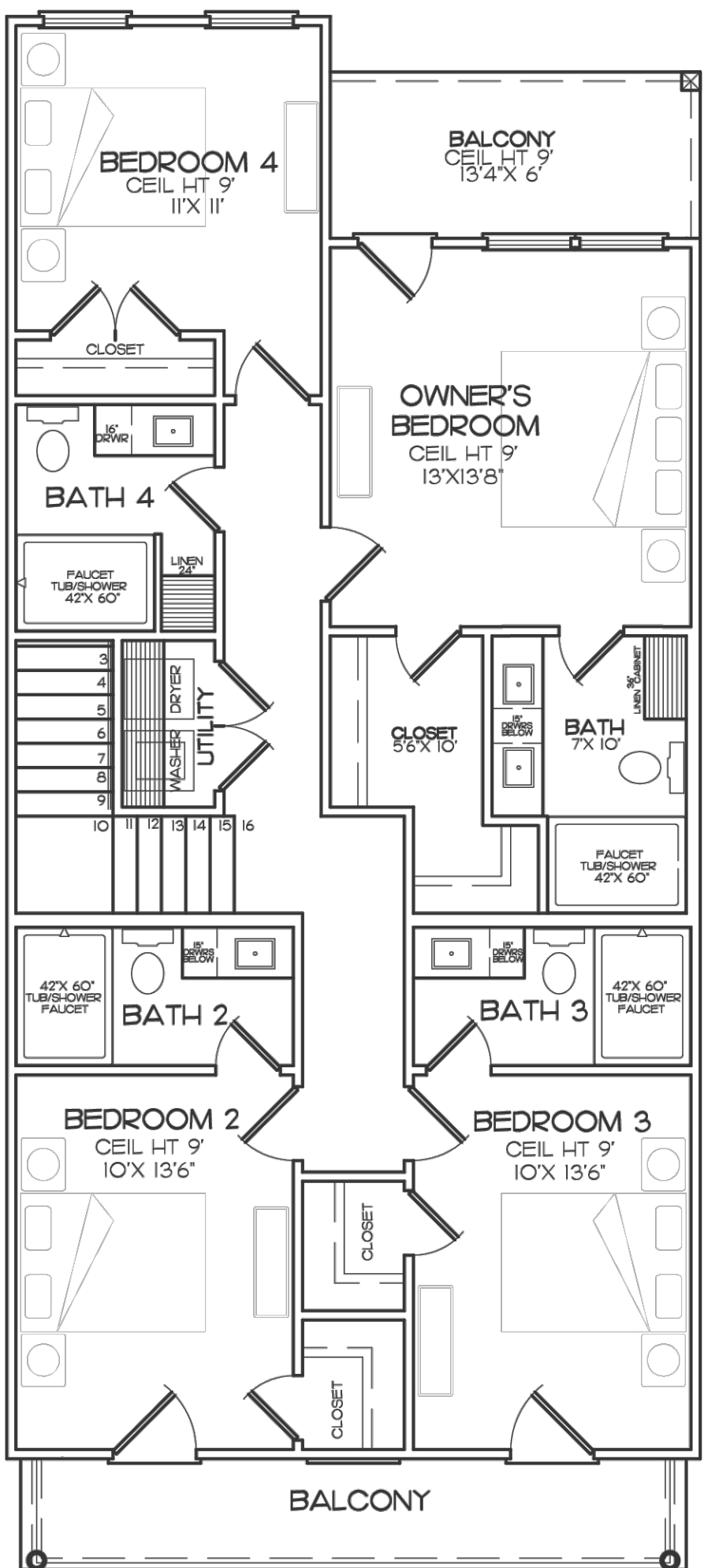
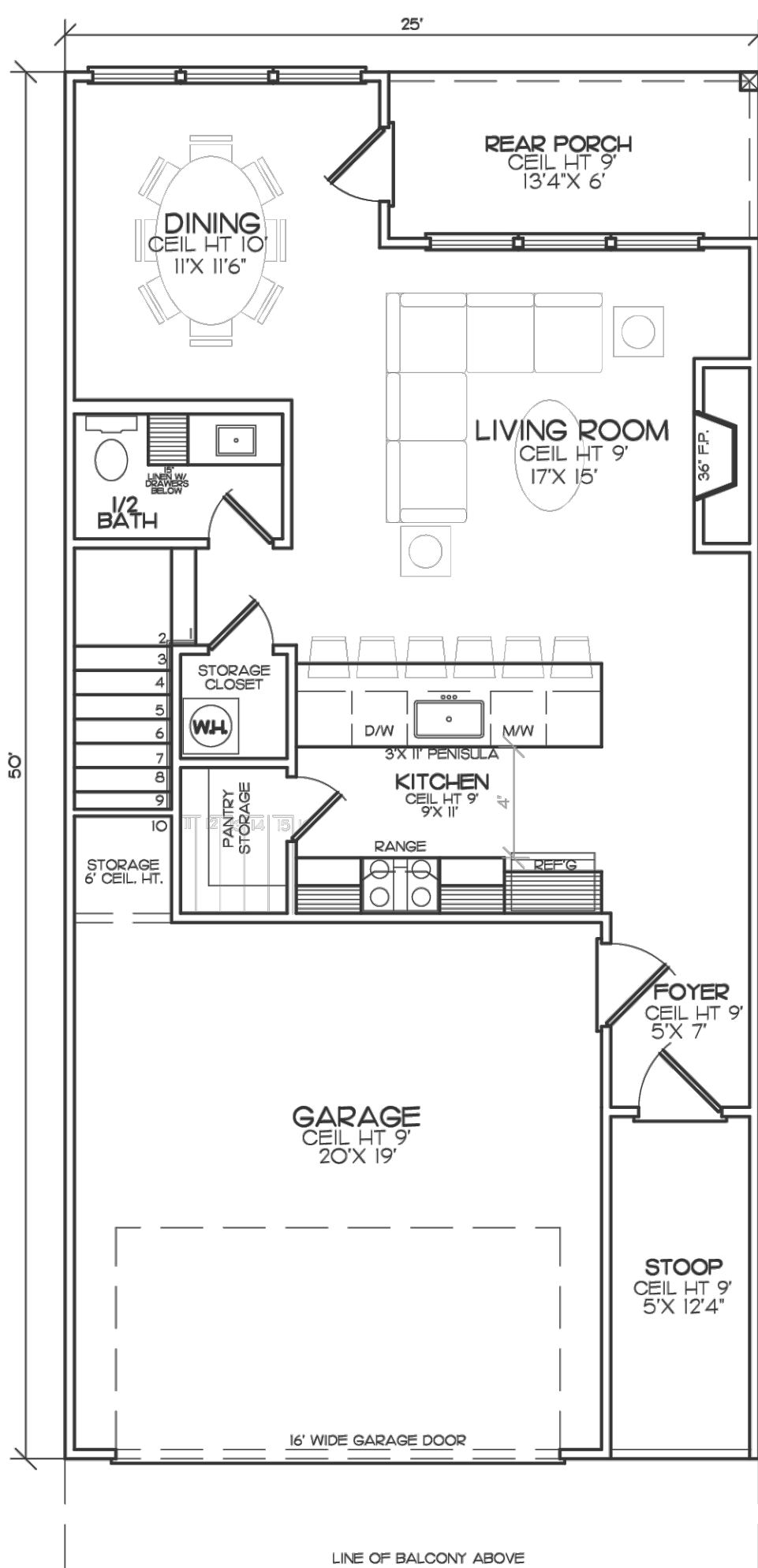
OPTION "A"
FIRST FLOOR
FLOOR PLAN
SCALE: 1/4"=1'-0"



OPTION "A"
SECOND FLOOR
FLOOR PLAN
SCALE: 1/4"=1'-0"

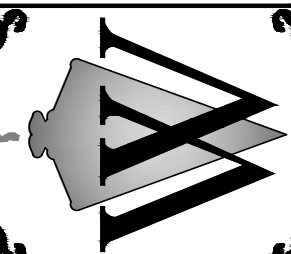
OPTION "B"
712 SQ FT FIRST FLOOR LIVING AREA
1156 SQ FT SECOND FLOOR LIVING AREA
1868 TOTAL LIVING AREA
2582 TOTAL AREA

4 BEDROOM 3 1/2 BATH
REAR PORCH
REAR BALCONY
FRONT BALCONY OPTION
DINING



PRELIMINARY

WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors



Condominium Plat for:
Lamar Lakes, a Condominium, Phase 1
A tract of land being a fraction of the North Half
(N 1/2) of Section 4, Township 8 South, Range 3 West,
Lafayette County, Mississippi

REVISION	DATE

Scale:	NTS
Date:	04-20-2026
File:	SB-244076 (Steve Bryan OR 11/11/Condo Plat LP Steve Bryan Condo Plat_042026.dwg)
Proj.No.:	SB-244076
Drawn By:	BM
Checked By:	RSD
Sheet Title:	

Floor
Plans

Sheet No.:

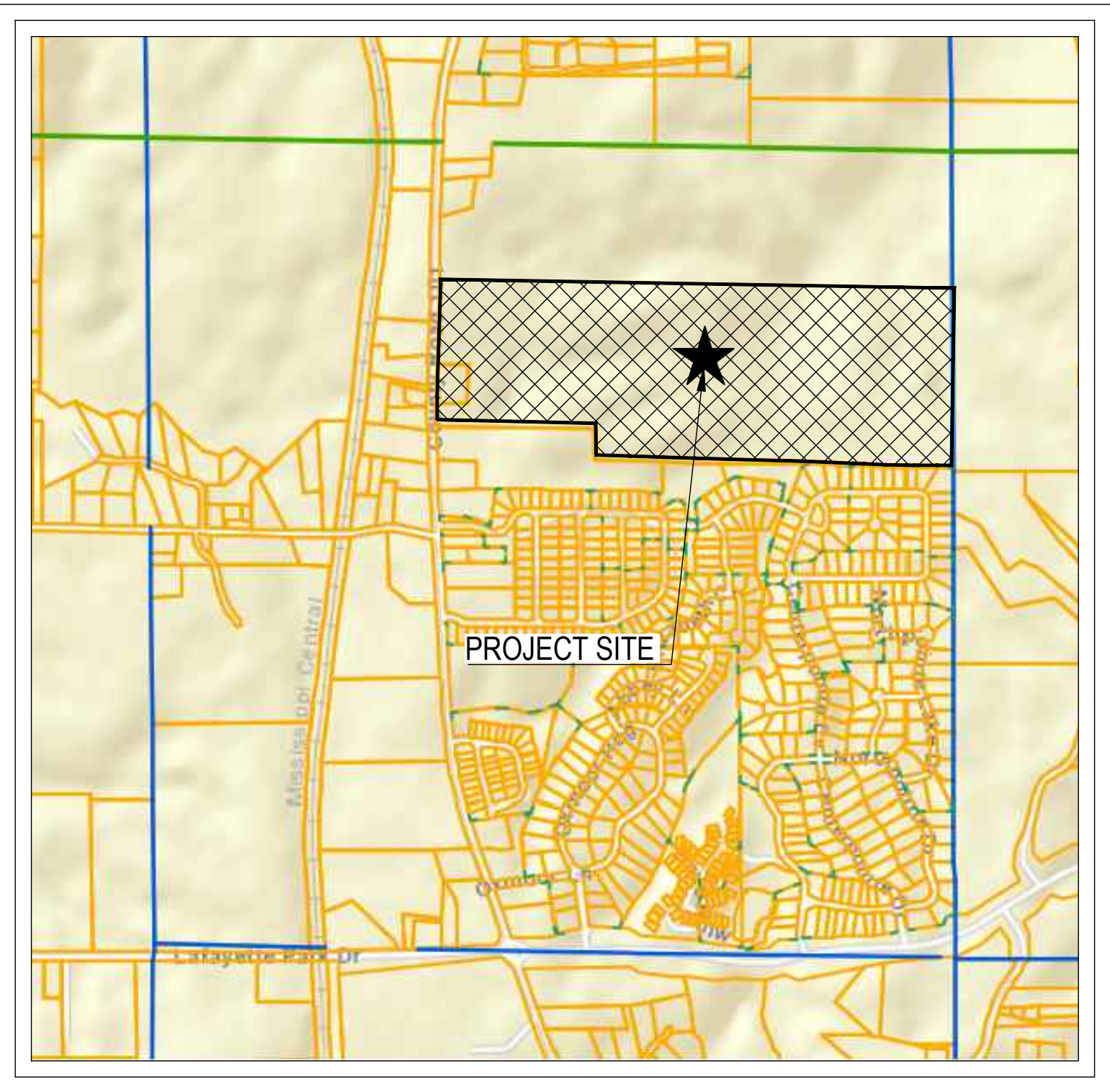
CONSTRUCTION PLANS FOR:

Lamar Lakes

County Road 101 (Old Highway 7)

Lafayette County, Mississippi

INDEX OF DRAWINGS

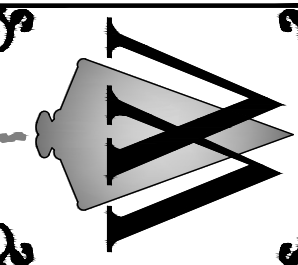
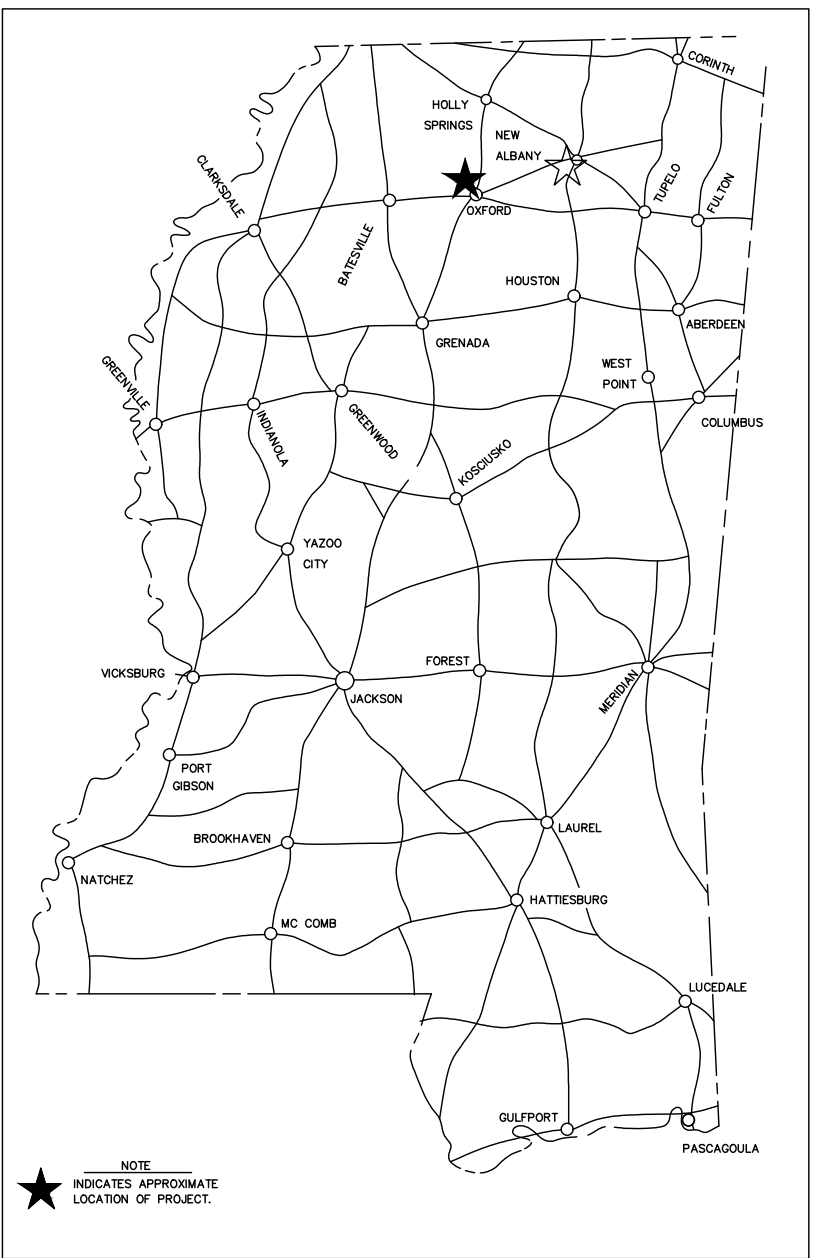


VICINITY MAP

NOTE
★ INDICATES APPROXIMATE
LOCATION OF PROJECT.

Sheet #	Sheet Name	Sheet #	Sheet Name
C0.0	COVER	C7.2	GRADING PLAN
C1.0	OVERALL EXISTING CONDITIONS	C7.3	GRADING PLAN
C1.1	EXISTING CONDITIONS	C8.0	OVERALL EROSION CONTROL PLAN
C1.2	EXISTING CONDITIONS	C8.1	EROSION CONTROL PLAN
C1.3	EXISTING CONDITIONS	C8.2	EROSION CONTROL PLAN
C2.0	OVERALL SITE LAYOUT	C8.3	EROSION CONTROL PLAN
C2.1	SITE LAYOUT	C9.0	PLAN AND PROFILE
C2.2	SITE LAYOUT	C9.1	PLAN AND PROFILE
C2.3	SITE LAYOUT	C9.2	PLAN AND PROFILE
C3.0	OVERALL UTILITY LAYOUT	C9.3	PLAN AND PROFILE
C3.2	UTILITY LAYOUT	C9.4	PLAN AND PROFILE
C3.3	UTILITY LAYOUT	C9.5	PLAN AND PROFILE
C3.3	UTILITY LAYOUT	C9.6	PLAN AND PROFILE
C4.0	OVERALL WATER PLAN	C9.7	PLAN AND PROFILE
C4.1	WATER PLAN	C9.8	PLAN AND PROFILE
C4.2	WATER PLAN	C10.0	OVERALL LANDSCAPE PLAN
C4.3	WATER PLAN	C10.1	LANDSCAPE PLAN
C5.0	OVERALL STORM SEWER PLAN	C10.2	LANDSCAPE PLAN
C5.1	STORM SEWER PLAN	C10.3	LANDSCAPE PLAN
C5.2	STORM SEWER PLAN	C11.0	SITE DETAILS
C5.3	STORM SEWER PLAN	C11.1	SITE DETAILS
C6.0	OVERALL SEWER PLAN	C12.0	WATER DETAILS
C6.1	SEWER PLAN	C13.0	STORM DRAIN DETAILS
C6.2	SEWER PLAN	C14.0	SEWER DETAILS
C6.3	SEWER PLAN	C15.0	EROSION CONTROL DETAILS
C7.0	OVERALL GRADING PLAN	C16.0	BUILDING PLANS
C7.1	GRADING PLAN	C16.1	BUILDING PLANS
		C16.2	BUILDING PLANS
		C16.3	BUILDING PLANS

LOCATION MAP



REVISION	DATE

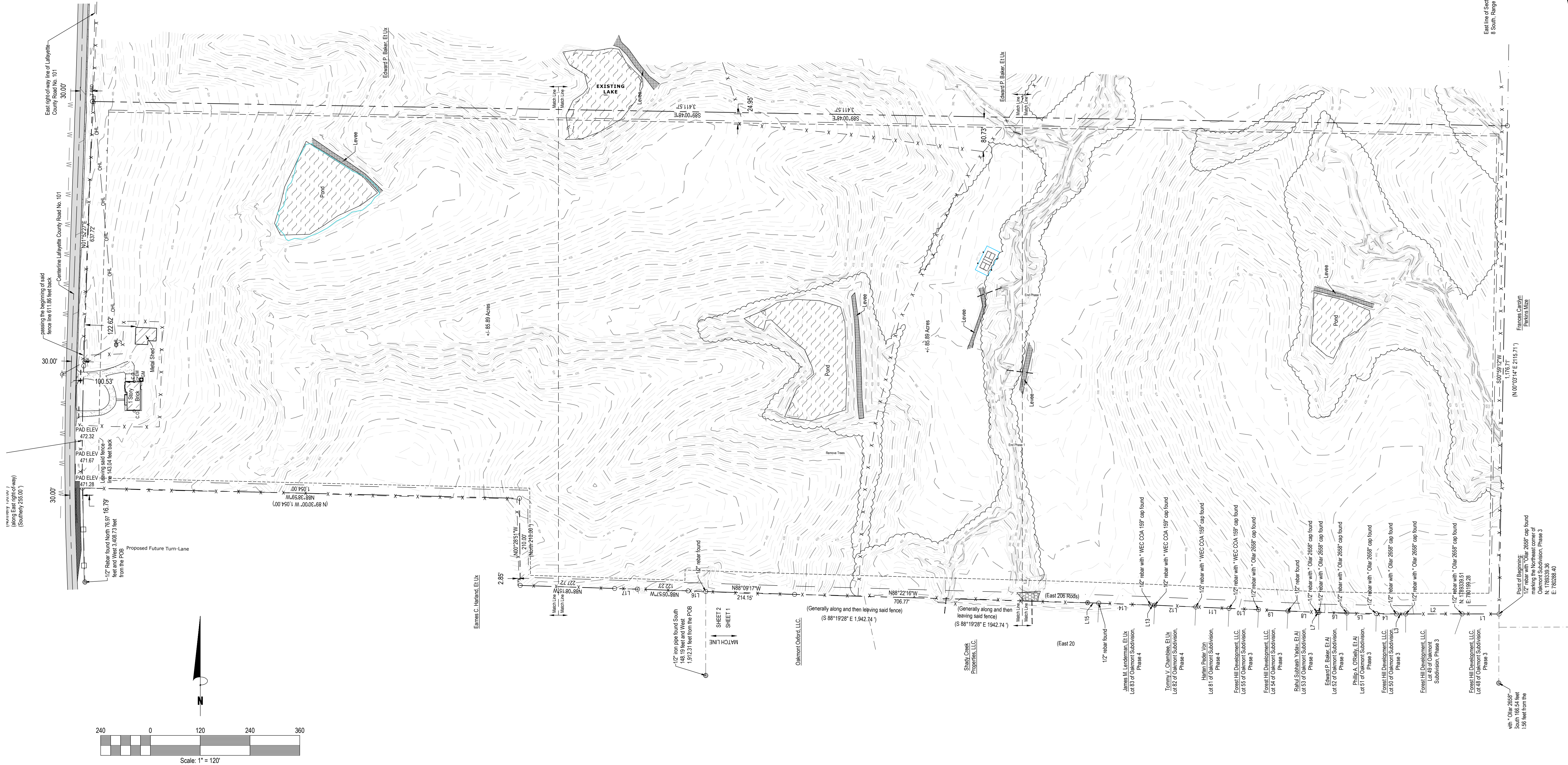
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Date:	04/01/2026
File:	SB-244076 (Steve Bryan CR 101)De signSteve Bryan CR 101 Design.dwg
Proj.No.:	SB-244076
Drawn By:	JCP/JWW
Checked By:	JWW

Sheet Title:

Cover

Sheet No.:

C 0.0



LEGEND

- | | | | |
|---|----------------------------------|---|---------------------------------|
| — | RIGHT OF WAY LINES | ✕ | SECTION CORNER |
| — | PROPERTY LINES | ○ | PROPERTY CORNERS |
| — | SECTION TIE | ⊙ | MONUMENTS FOUND |
| — | CENTERLINE ROAD | ⊙ | BENCHMARKS |
| — | APPARENT ADJOINING PROPERTY LINE | — | UTILITY POLES |
| — | UTILITY EASEMENT LINES | — | GUY WIRE |
| — | OVERHEAD LINES | — | TELEPHONE PEDESTAL |
| — | BARBED WIRE FENCE LINES | — | ELECTRIC METERS |
| — | TREE LINES | — | GAS METERS |
| — | BUILDING AREAS | — | WATER METERS |
| — | COVERED AREAS | — | AIR CONDITIONING UNIT |
| — | CONCRETE AREAS | — | CLEANOUT |
| — | ASPHALT AREAS | — | CORRUGATED METAL PIPE |
| — | GRAVEL AREAS | — | HDPPE HIGH DENSITY POLYETHYLENE |
| — | WATER AREAS | — | POB POINT OF BEGINNING |
| — | LEVEE AREAS | — | POC POINT OF COMMENCEMENT |
| — | RIP RAP | — | DEED CALLS |
| — | PLAT CALLS | — | MEASURED CALLS |

(All symbols in legend may not be used on current survey.)

Construction Plans For: Lamar Lakes County Road 101 (Old Highway 7) Lafayette County, MS

REVISION	DATE

Scale: 1" = 120'

Date: 04/01/2026

File: SB-244076 (Steve Bryan CR 101)De signSteve Bryan CR 101 Design.dwg

Proj.No.: SB-244076

Drawn By: JCP/JWW

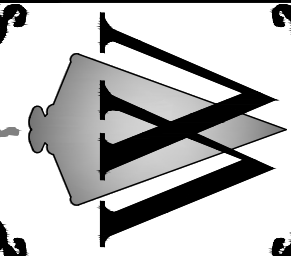
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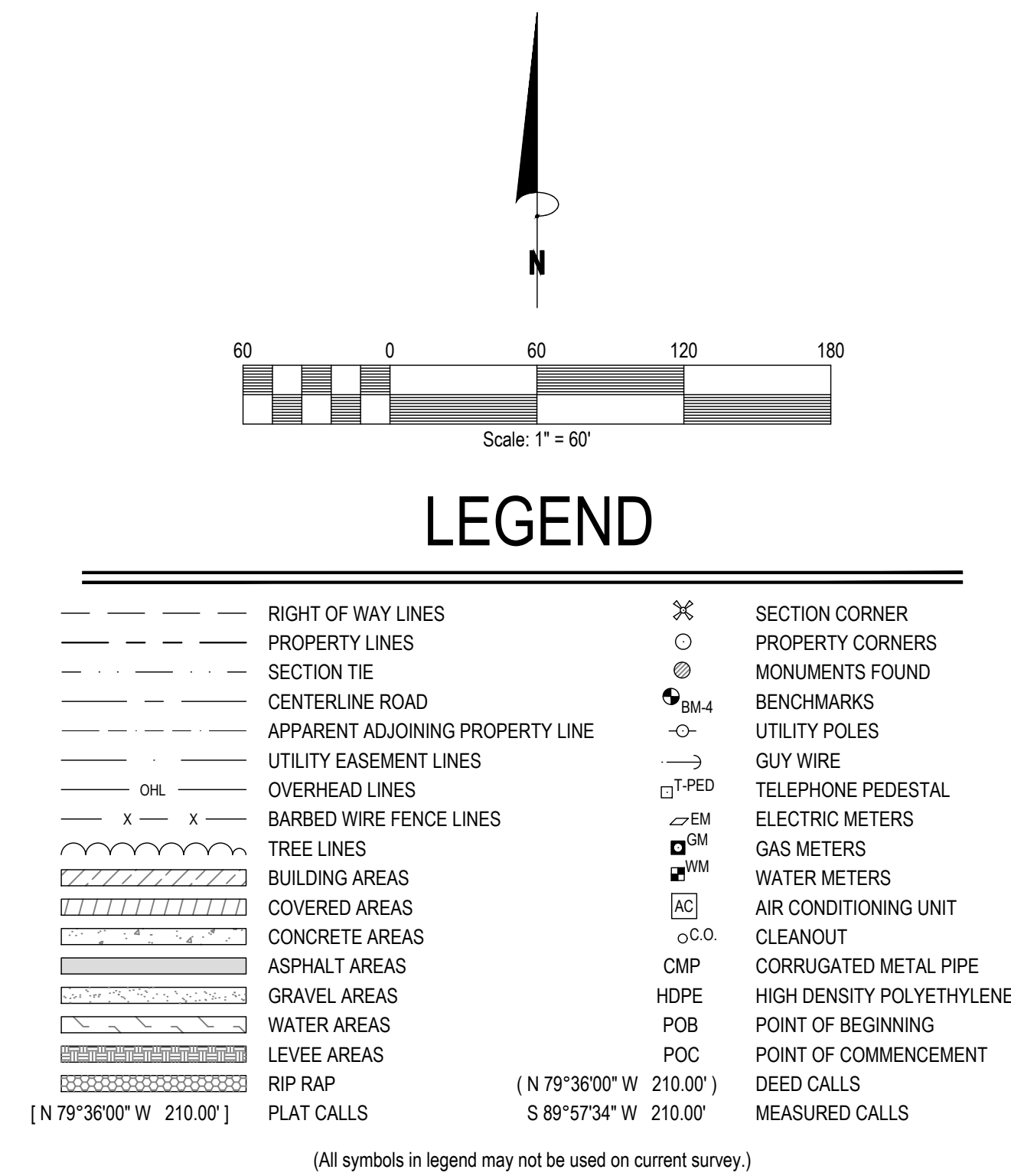
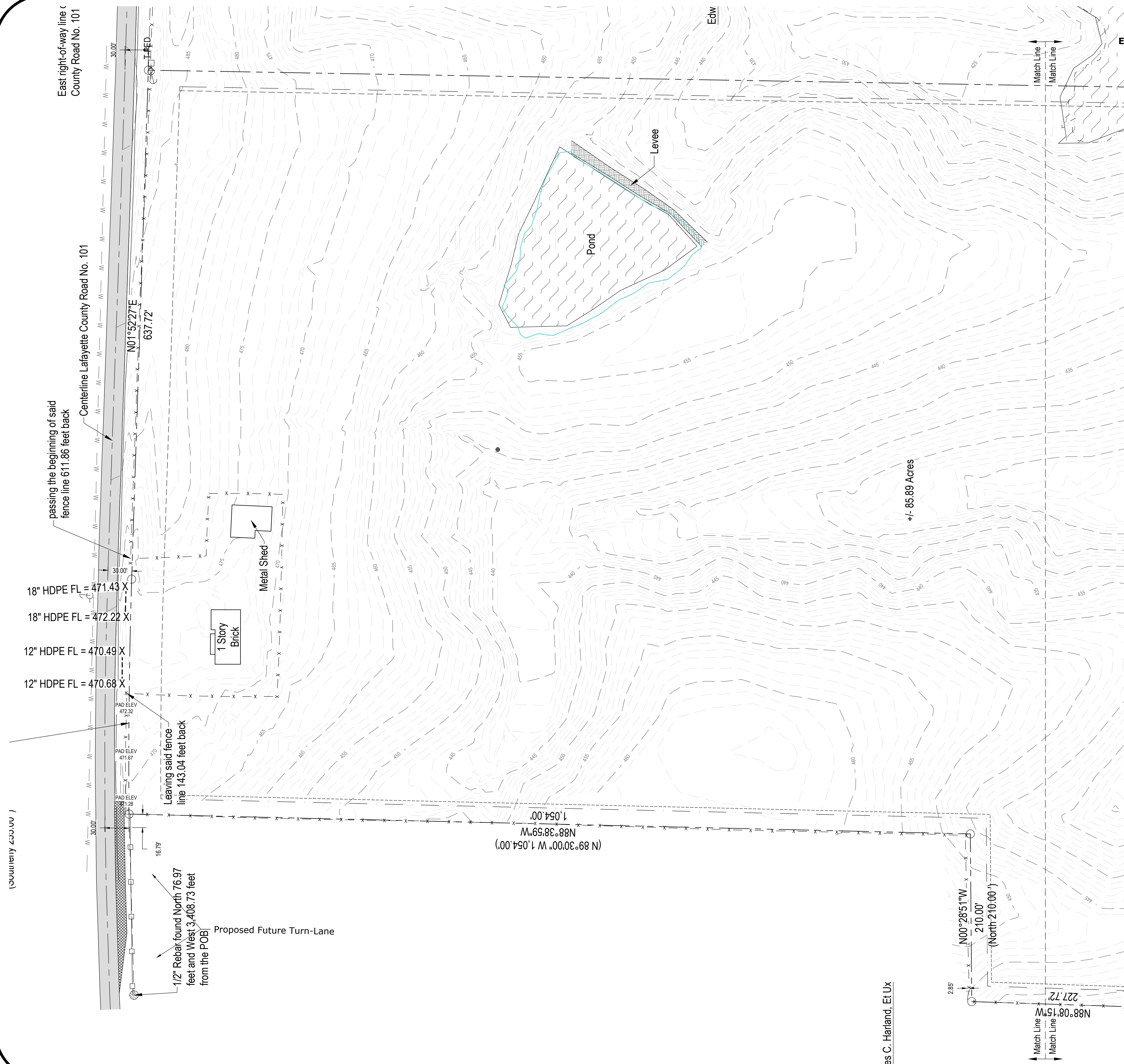
Overall
Existing

Sheet No.:

C 1.0



WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors
720 NORTH LAMAR BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.236.9675



UTILITY COMPANIES NOTIFIED		
Mississippi 811 (E-Locate)	Date Submitted: April 1, 2025	Verification # 250401141673
<u>TELEPAK DBA C SPIRE FIBER</u> <u>OXFORD WATER & SEWER DEPT</u> <u>DELTA UTILITIES MS</u>	NORTHEAST MS EPA MAXXSOUTH BROADBAND LLC AT&T DISTRIBUTION TUPELO	

- Notes:**
- This is a Class "B" Survey as set forth in Appendix "A" of the Standards of Practice for Land Surveying in the State of Mississippi.
 - Global Positioning System (GPS) was used to locate or establish Boundary Survey Points on subject survey and points were completed by GCGC Real Time Network, NAD83(2011) CORS epoch 2010.00.
 - Field survey during June 10, 2025.
 - All bearings are based on Mississippi State East Plane Coordinate System Grid North as determined by GPS Observations with a Convergence of (-0°22'56") and a scale factor of 0.99999762 calculated at The Point of Beginning.
 - Horizontal Datum based on NAD 83(2011) and Vertical Datum based on NAVD 88 as posted on below station:
GCGC Real Time Network
CORS- This is a GPS Continuously Operating Reference Station
Designation- Oxford CORS ARP
CORS ID- MSOX
PID- DK6714
Lat- 34° 21' 50.93055"
Long- 88° 31' 56.51634"
 - Subject survey is Zoned A-1 "Rural" as per Lafayette County Zoning Map Dated January 18, 2018 and is subject to the regulations, setbacks, and easements found in the Lafayette County Zoning Ordinance latest addition.
 - This property is subject to any right-of-way or easements recorded or unrecorded shown or not shown on plat of survey.
 - All property corners set are 1/2" rebar with survey cap (WEC - COA 159), unless otherwise stated.
 - Underground utilities shown on this survey represent surface markings of the utilities on site by various utility owners. Underground utilities may exist which were not marked by various utility owners. Williams Engineering Consultants, Inc. is not responsible for utilities not located that were not located by utility owners. Utility parameters are shown as provided by owners.
 - BM: rebar set near the edge of pavement with an known elevation of 401.85, said rebar located South 235.23 feet and West 1.087.03 feet from the POB.
- 11. Deed References:**
- | | | |
|-----------------------------|-----------------------------|-----------------------------|
| A. Instrument No. 20243741 | B. Instrument No. 20242039 | C. Instrument No. 20242177 |
| D. Instrument No. 20182796 | E. Instrument No. 200802218 | F. Instrument No. 20178717 |
| G. Instrument No. 20205704 | H. Instrument No. 20221920 | I. Instrument No. 20211063 |
| J. Instrument No. 201612787 | K. Instrument No. 202112712 | L. Instrument No. 20201706 |
| M. Instrument No. 20188547 | N. Instrument No. 201010038 | O. Instrument No. 202113960 |
| P. Instrument No. 20248418 | Q. Instrument No. 202109281 | R. Instrument No. 20232455 |
| S. Instrument No. 20232237 | T. Instrument No. 20232996 | U. Instrument No. 20239226 |
5. Official Plat of Oakmont Subdivision, Phase 3 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet-C, Side-83.
6. W. Official Plat of Oakmont Subdivision, Phase 4 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet-C, Side-83.
- X. Official Plat of Briarwood Subdivision, Phase 1 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet-C, Side-85.

REVISION	DATE

Scale: 1" = 60'

Date: 04/01/2026

File: SB-244076 (Steve Bryan CR 101)\Design\Steve Bryan CR 101 Design.dwg

Proj.No.:	SB-244076
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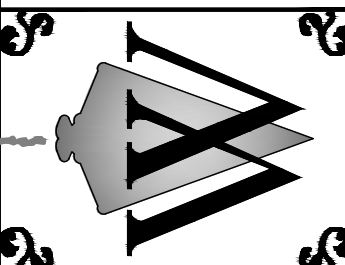
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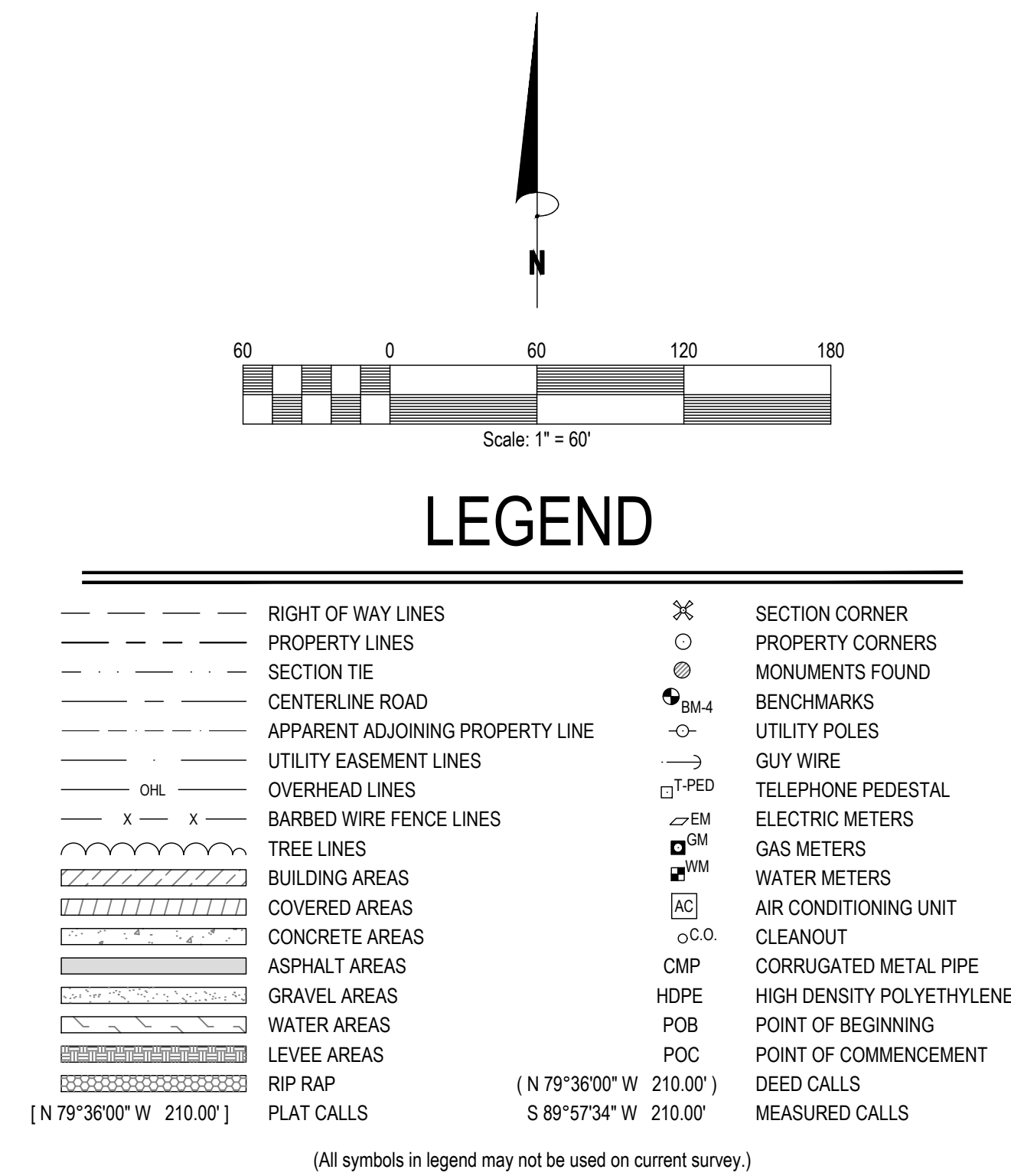
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Existing Conditions

Sheet No.:

C 1.1





UTILITY COMPANIES NOTIFIED		
Mississippi 811 (E-Locate)	Date Submitted: April 1, 2025	Verification # 250401141673
<u>TELEPAK DBA C SPIRE FIBER</u> <u>OXFORD WATER & SEWER DEPT</u> <u>DELTA UTILITIES MS</u>	NORTHEAST MS EPA MAXXSOUTH BROADBAND LLC AT&T DISTRIBUTION TUPELO	

- Notes:
- This is a Class "B" Survey as set forth in Appendix "A" of the Standards of Practice for Land Surveying in the State of Mississippi.
 - Global Positioning System (GPS) was used to locate or establish Boundary Survey Points on subject survey and points were derived by GCGC Real Time Network, NAD83(2011) CORS epoch 2010.00.
 - Field survey completed June 10, 2025.
 - All bearings are based on Mississippi East State Plane Coordinate System Grid North as determined by GPS Observations with a Convergence of (-4°22'56") and a scale factor of 0.9999762 calculated at the Point of Beginning.
 - Horizontal Datum based on NAD 83(2011) and Vertical Datum based on NAVD 88 as posted on below station:
GCGC Real Time Network
CORS- This is a GPS Continuously Operating Reference Station
Designation- Oxford CORS ARP
CORS ID- MSOX
PID- DK6714
Lat- 34° 21' 50.93055"
Long- 89° 31' 56.51634"
 - Subject survey is Zoned A-1 "Rurals" as per Lafayette County Zoning Map Dated January 18, 2018 and is subject to the regulations, setbacks, and easements found in the Lafayette County Zoning Ordinance latest addition.
 - This property is subject to any right-of-way or easements recorded or unrecorded shown or not shown on plat of survey.
 - All property corners set are 1/2" rebar with survey cap (WEC- COA 159), unless otherwise stated.
 - Underground utilities shown on this survey represent surface markings of the utilities on site by various utility owners. Underground utilities may exist which were not marked by various utility owners. Williams Engineering Consultants, Inc. is not responsible for utilities not shown that were not located by utility owners. Utility parameters are shown as provided by owners.
 - BM: rebar set near the edge of pavement with an known elevation of 401.85, said rebar located South 235.23 feet and West 1,097.03 feet from the POB.
- See Deed References:
- | | | |
|-----------------------------|-----------------------------|-----------------------------|
| A. Instrument No. 20243741 | B. Instrument No. 20242039 | C. Instrument No. 20242177 |
| D. Instrument No. 20187796 | E. Instrument No. 200802218 | F. Instrument No. 20187791 |
| G. Instrument No. 20205704 | H. Instrument No. 20221920 | I. Instrument No. 20211063 |
| J. Instrument No. 201612787 | K. Instrument No. 202112712 | L. Instrument No. 20201706 |
| M. Instrument No. 20188547 | N. Instrument No. 201010038 | O. Instrument No. 202113960 |
| P. Instrument No. 20248418 | Q. Instrument No. 202109281 | R. Instrument No. 20232455 |
| S. Instrument No. 20232327 | T. Instrument No. 20232996 | U. Instrument No. 20239226 |
- V. Official Plat of Oakmont Subdivision, Phase 3 on file in the Office of the Chancery Clerk of Lafayette County, Mississippi, in Plat Cabinet-C, Side-83.
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REVISION	DATE

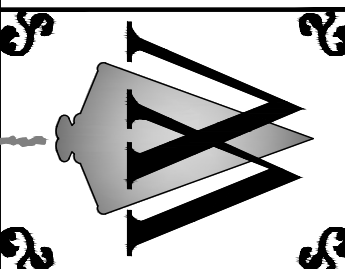
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Proj.No.:	SB-244076
Drawn By:	JCP/JWW
Checked By:	JWW

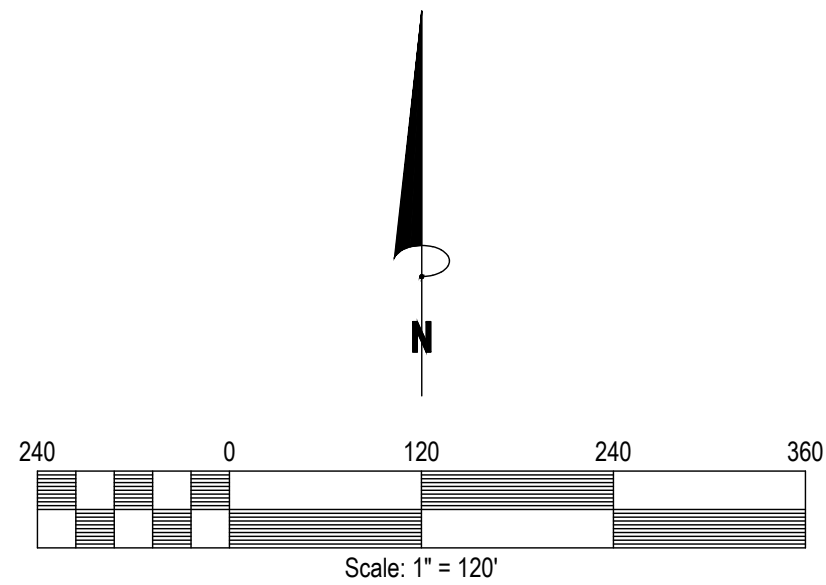
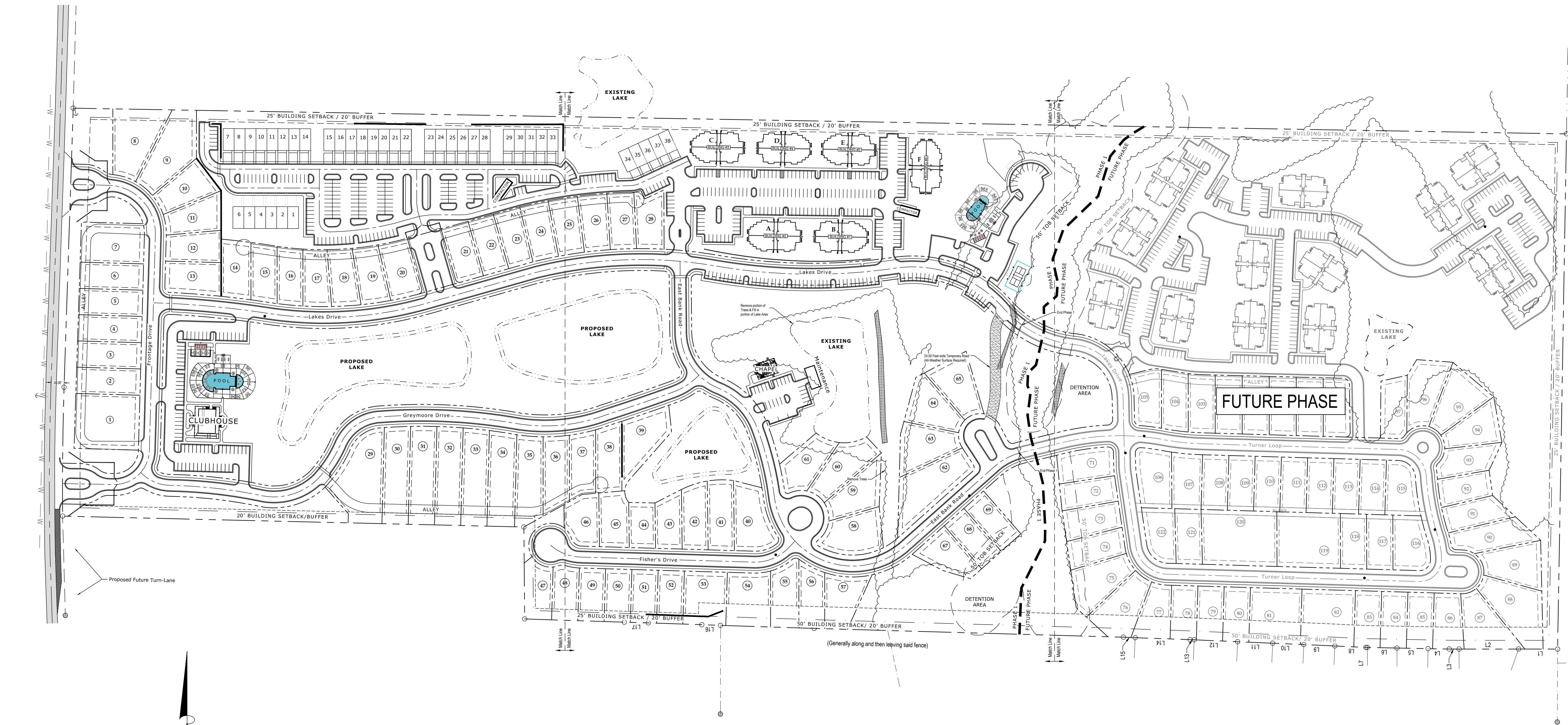
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Existing
Conditions

Sheet No.:

C 1.2





LEGEND

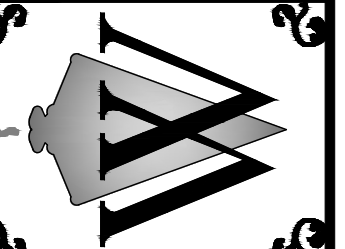
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---	PROPERTY LINES	○	PROPERTY CORNERS
-.-.-	SECTION TIE	⊙	MONUMENTS FOUND
—+—	CENTERLINE ROAD	⊙	BENCHMARKS
---	APPARENT ADJOINING PROPERTY LINE	—○—	UTILITY POLES
---	UTILITY EASEMENT LINES	—○—	GUY WIRE
—OHL—	OVERHEAD LINES	□ T-PED	TELEPHONE PEDESTAL
—x—x—	BARBED WIRE FENCE LINES	□ E-M	ELECTRIC METERS
—	TREE LINES	□ G-M	GAS METERS
▨	BUILDING AREAS	□ W-M	WATER METERS
▨	COVERED AREAS	□ AC	AIR CONDITIONING UNIT
▨	CONCRETE AREAS	○ C.O.	CLEANOUT
▨	ASPHALT AREAS	CMP	CORRUGATED METAL PIPE
▨	GRAVEL AREAS	HDPE	HIGH DENSITY POLYETHYLENE
▨	WATER AREAS	POB	POINT OF BEGINNING
▨	LEVEE AREAS	POC	POINT OF COMMENCEMENT
▨	RIP RAP	—○—	DEED CALLS
▨	PLAT CALLS	—○—	MEASURED CALLS

(N 79°36'00" W 210.00')
(S 89°57'34" W 210.00')

(All symbols in legend may not be used on current survey.)

NOTES:

1. ALL ROADS WITHIN THIS DEVELOPMENT WILL REMAIN PRIVATE ROADWAYS BUT WILL BE CONSTRUCTED TO LAFAYETTE COUNTY STANDARDS.
2. NO ON-STREET PARKING IS ALLOWED ON THE ROADWAY, CUL-DE-SACS, OR KNUCKLES (BULBS) WITHIN THIS DEVELOPMENT.



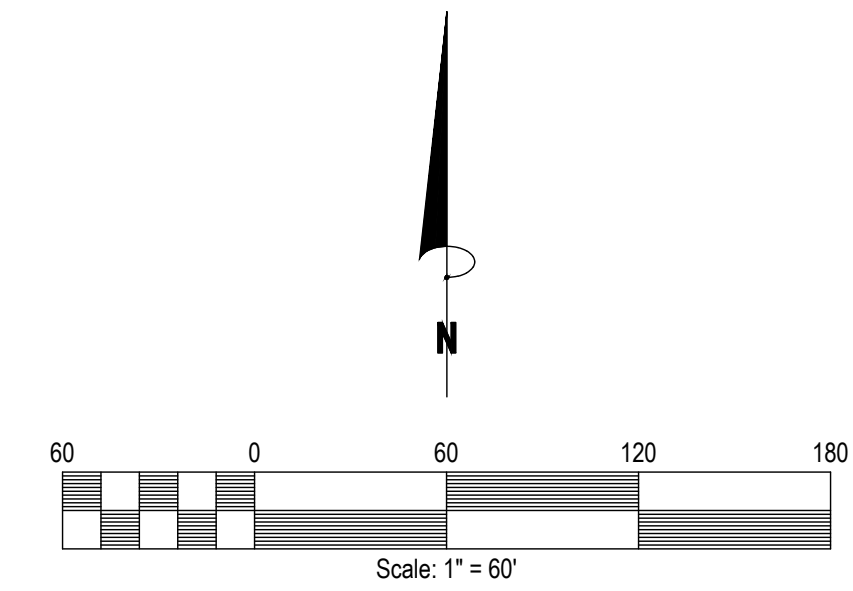
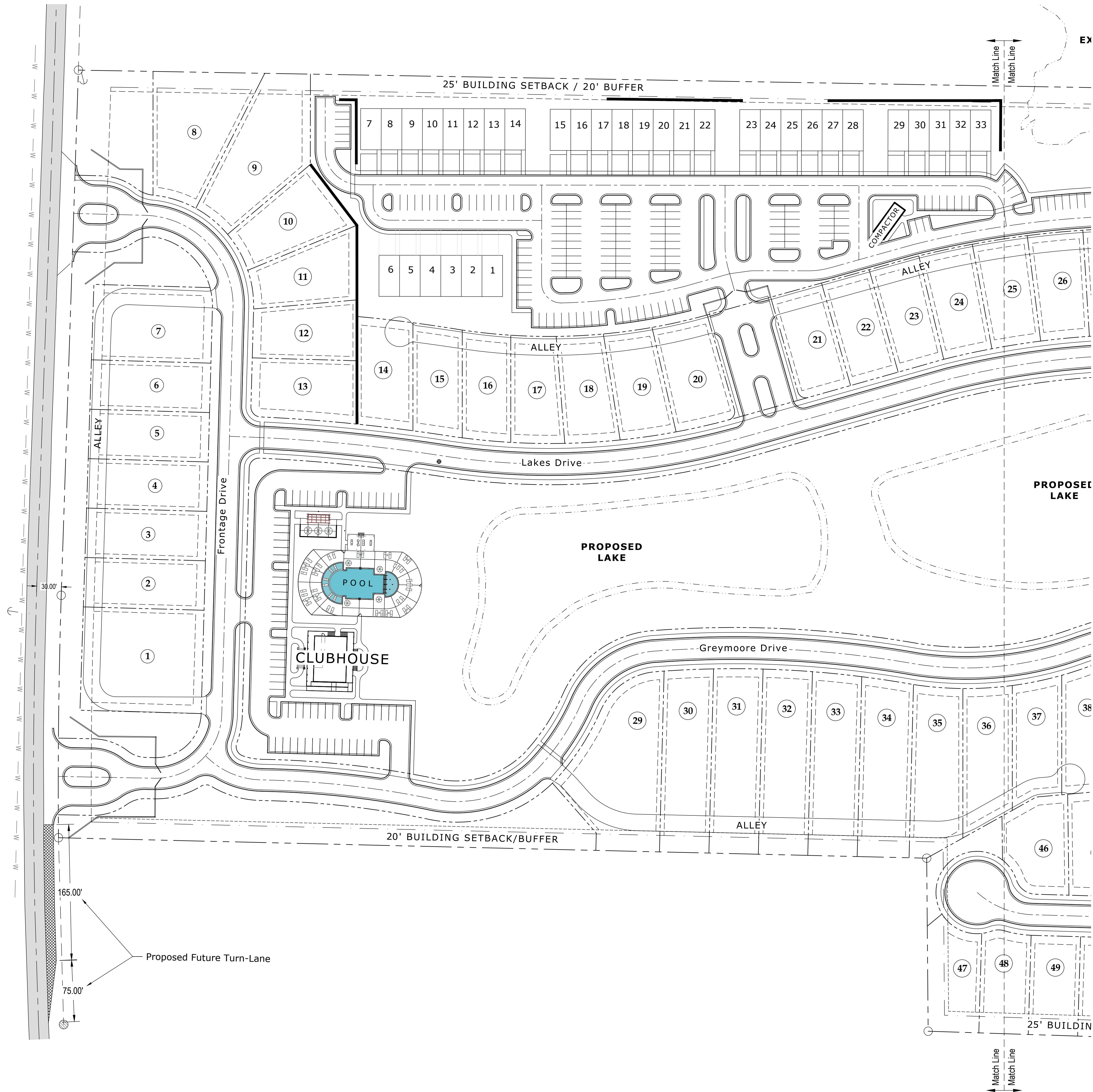
REVISION	DATE

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Proj.No.:	SB-244076
Drawn By:	JCP/JWW
Checked By:	JWW
Sheet Title:	

Overall Site
Layout

Sheet No.:

C 2.0



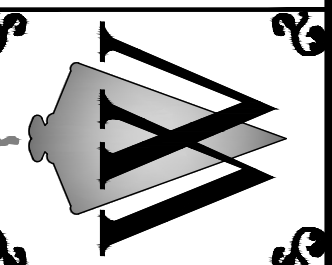
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RIGHT OF WAY LINES	SECTION CORNER
PROPERTY LINES	PROPERTY CORNERS
SECTION TIE	MONUMENTS FOUND
CENTERLINE ROAD	BENCHMARKS
APPARENT ADJOINING PROPERTY LINE	UTILITY POLES
UTILITY EASEMENT LINES	GUY WIRE
OVERHEAD LINES	TELEPHONE PEDESTAL
BARBED WIRE FENCE LINES	ELECTRIC METERS
TREE LINES	GAS METERS
BUILDING AREAS	WATER METERS
COVERED AREAS	AIR CONDITIONING UNIT
CONCRETE AREAS	CLEANOUT
ASPHALT AREAS	CMP CORRUGATED METAL PIPE
GRAVEL AREAS	HDPE HIGH DENSITY POLYETHYLENE
WATER AREAS	POB POINT OF BEGINNING
LEEVE AREAS	POC POINT OF COMMENCEMENT
RIP RAP	DEED CALLS
PLAT CALLS	MEASURED CALLS

(All symbols in legend may not be used on current survey.)

WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors

720 NORTH LAMAR BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.236.9675



Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

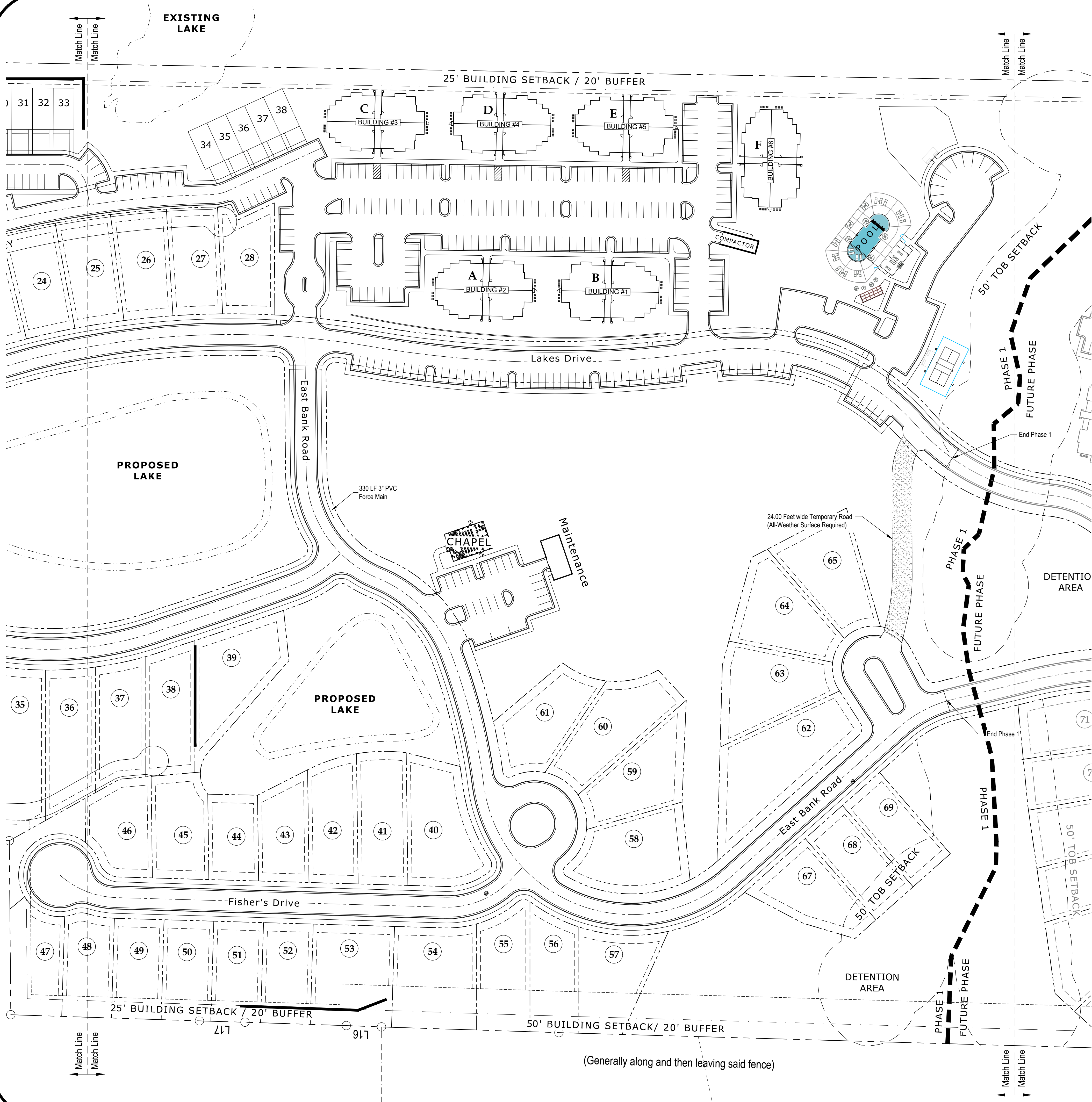
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Proj.No.: SB-244076
Drawn By: JCPI/JWW
Checked By: JWW

Sheet Title:

Site
Layout

Sheet No.:

C 2.1



Scale: 1" = 60'

LEGEND

	RIGHT OF WAY LINES		SECTION CORNER
	PROPERTY LINES		MONUMENTS FOUND
	SECTION TIE		BENCHMARKS
	CENTERLINE ROAD		UTILITY POLES
	APPARENT ADJOINING PROPERTY LINE		GUY WIRE
	UTILITY EASEMENT LINES		TELEPHONE PEDESTAL
	OVERHEAD LINES		ELECTRIC METERS
	BARBED WIRE FENCE LINES		GAS METERS
	TREE LINES		WATER METERS
	BUILDING AREAS		AIR CONDITIONING UNIT
	COVERED AREAS		CLEANOUT
	CONCRETE AREAS		CORRUGATED METAL PIPE
	ASPHALT AREAS		HIGH DENSITY POLYETHYLENE
	GRAVEL AREAS		POINT OF BEGINNING
	WATER AREAS		POINT OF COMMENCEMENT
	LEVEE AREAS		DEED CALLS
	RIP RAP		MEASURED CALLS
	PLAT CALLS		

(All symbols in legend may not be used on current survey.)

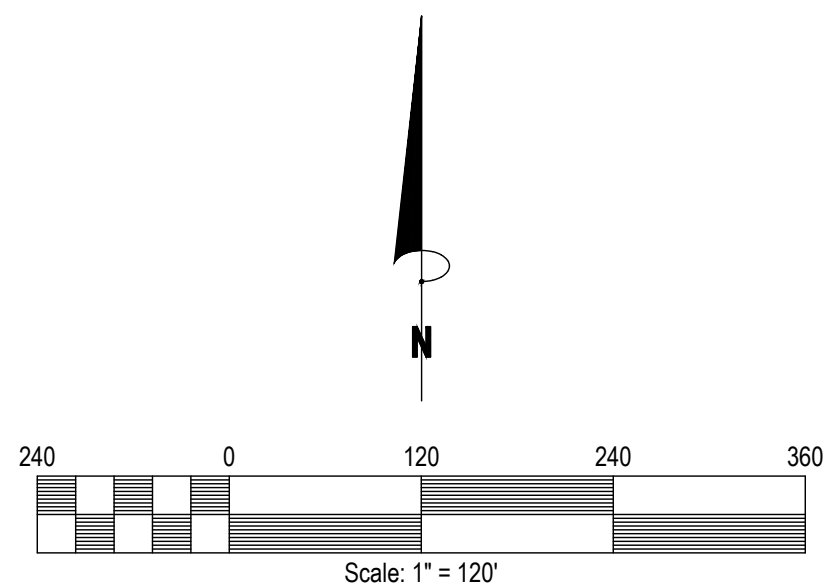
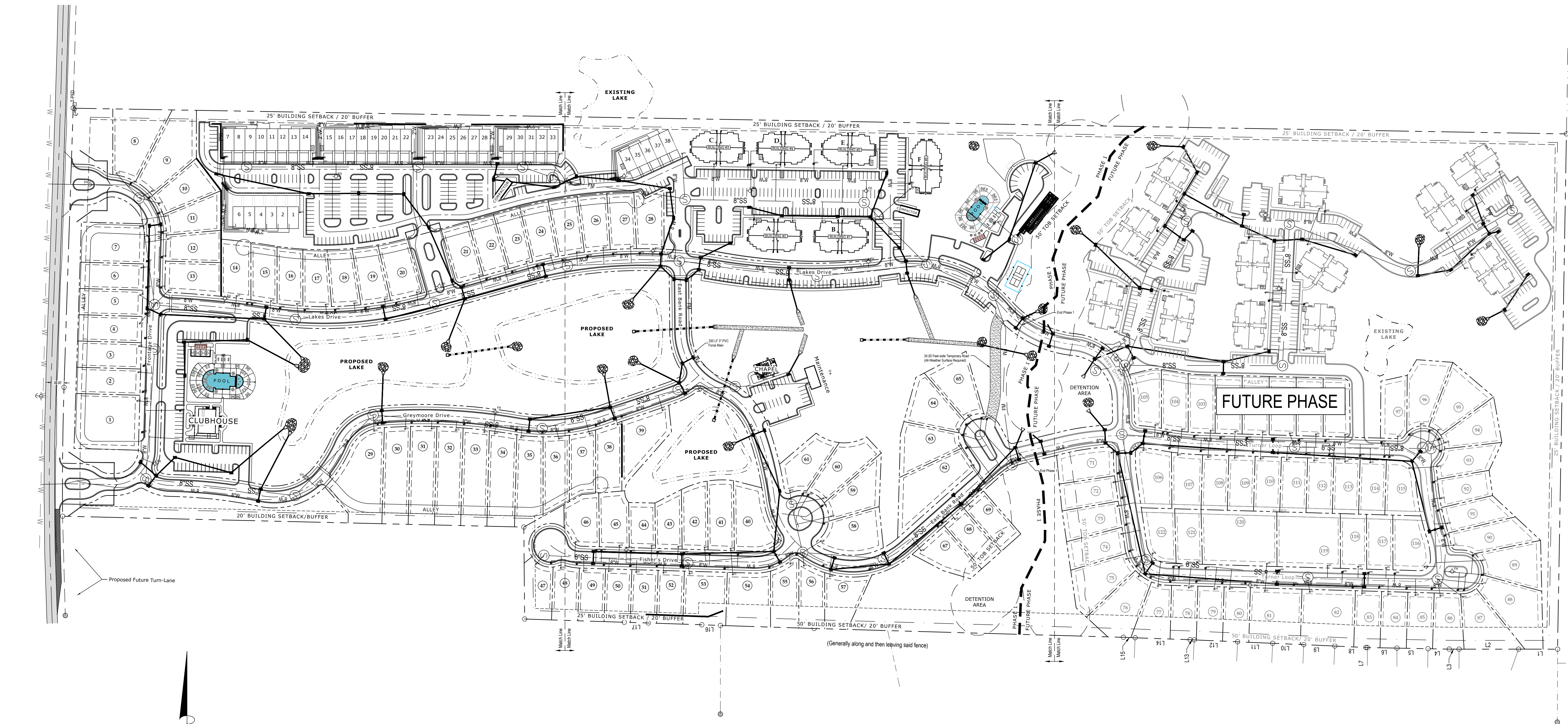
WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors

720 NORTH LAMAR BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.226.9675

Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

Scale: 1" = 60'
Date: 04/01/2026
File: SB-244076 (Steve Bryan CR 101)De signSteve Bryan CR 101 Design.dwg
Proj.No.: SB-244076
Drawn By: JCPI/JWW
Checked By: JWW
Sheet Title:
Site Layout
Sheet No.:
C 2.2



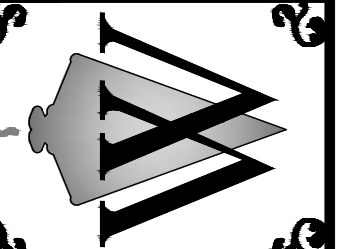
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—	RIGHT OF WAY LINES	✕	SECTION CORNER
- - -	PROPERTY LINES	○	PROPERTY CORNERS
- - -	SECTION TIE	⊙	MONUMENTS FOUND
- - -	CENTERLINE ROAD	⊙	BENCHMARKS
- - -	APPARENT ADJOINING PROPERTY LINE	⊙	UTILITY POLES
- - -	UTILITY EASEMENT LINES	⊙	GUY WIRE
- - -	OHL	⊙	TELEPHONE PEDESTAL
- - -	OVERHEAD LINES	⊙	ELECTRIC METERS
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- - -	TREE LINES	⊙	WATER METERS
- - -	BUILDING AREAS	⊙	AIR CONDITIONING UNIT
- - -	COVERED AREAS	⊙	CLEANOUT
- - -	CONCRETE AREAS	⊙	CORRUGATED METAL PIPE
- - -	ASPHALT AREAS	⊙	HDPE
- - -	GRAVEL AREAS	⊙	HIGH DENSITY POLYETHYLENE
- - -	WATER AREAS	⊙	POINT OF BEGINNING
- - -	LEVEE AREAS	⊙	POINT OF COMMENCEMENT
- - -	RIP RAP	⊙	DEED CALLS
- - -	PLAT CALLS	⊙	MEASURED CALLS

(All symbols in legend may not be used on current survey.)

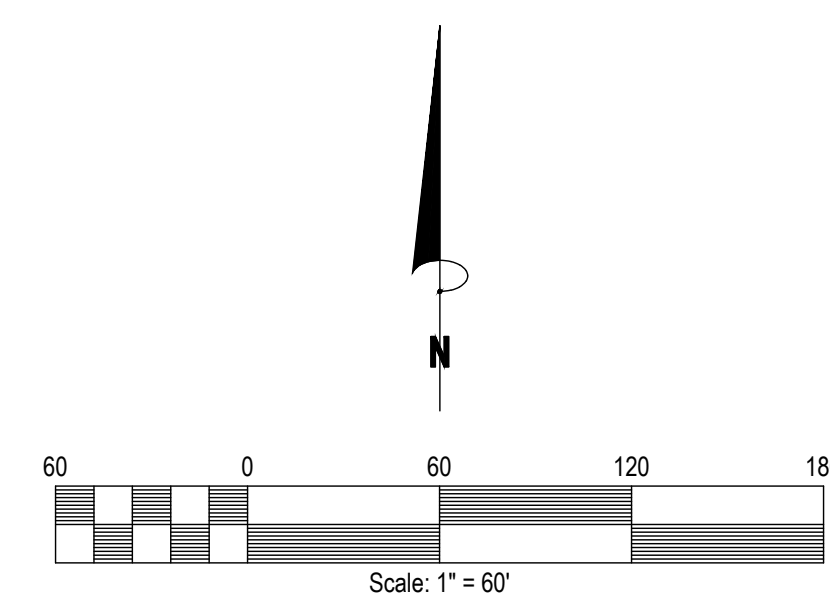
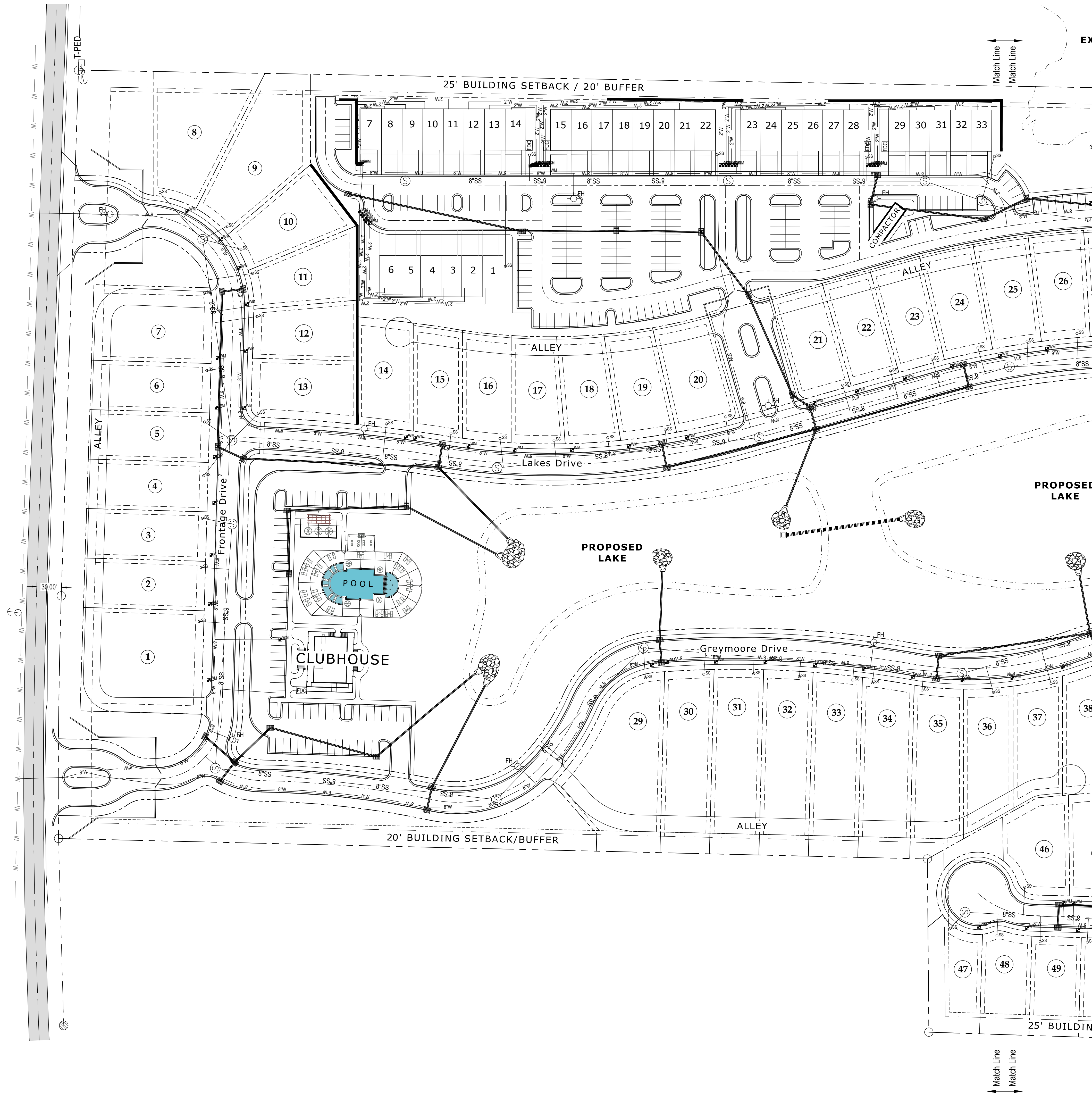
NOTES:

1. ALL WATER AND SEWER ROADWAY CROSSINGS (MAIN & SERVICE LINES) SHALL BE IN CASINGS.



REVISION	DATE

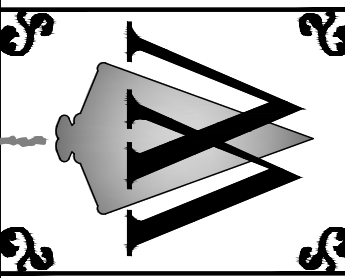
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Proj.No.:	SB-244076
Drawn By:	JCP/JWW
Checked By:	JWW
Sheet Title:	



LEGEND

- | | |
|--|-------------------------|
| — RIGHT OF WAY LINES | ⊗ SECTION CORNER |
| - - - PROPERTY LINES | ○ MONUMENTS FOUND |
| - - - SECTION TIE | ⊙ BENCHMARKS |
| - - - CENTERLINE ROAD | ⊙ UTILITY POLES |
| - - - APPARENT ADJOINING PROPERTY LINE | ⊙ GUY WIRE |
| - - - UTILITY EASEMENT LINES | ⊙ TELEPHONE PEDESTAL |
| - - - OVERHEAD LINES | ⊙ ELECTRIC METERS |
| - - - BARBED WIRE FENCE LINES | ⊙ GAS METERS |
| - - - TREE LINES | ⊙ WATER METERS |
| - - - BUILDING AREAS | ⊙ AIR CONDITIONING UNIT |
| - - - COVERED AREAS | ⊙ CLEANOUT |
| - - - CONCRETE AREAS | ⊙ CMP |
| - - - ASPHALT AREAS | ⊙ HDPE |
| - - - GRAVEL AREAS | ⊙ POB |
| - - - WATER AREAS | ⊙ POC |
| - - - LEVEE AREAS | ⊙ DEED CALLS |
| - - - RIP RAP | ⊙ MEASURED CALLS |
| - - - PLAT CALLS | |
- (All symbols in legend may not be used on current survey.)

WILLIAMS ENGINEERING CONSULTANTS, INC.
Professional Engineers | Professional Land Surveyors
720 NORTH LAMAR BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.236.9675



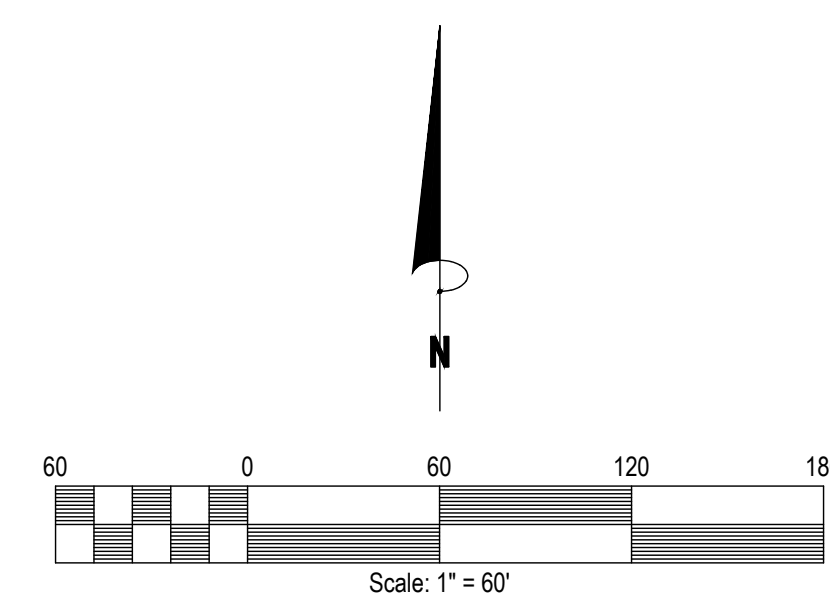
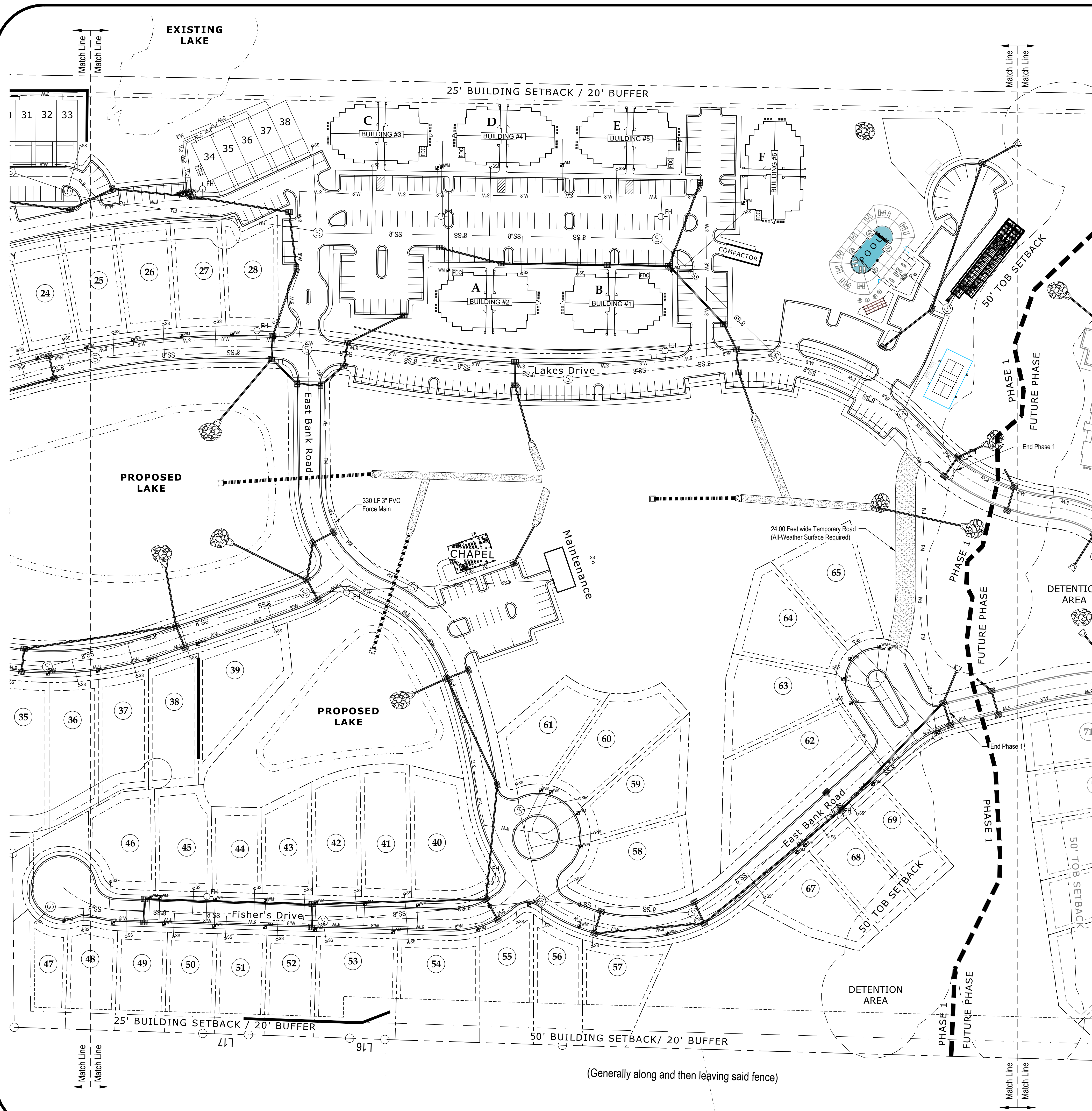
Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

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Checked By: JWW
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Utility
Layout

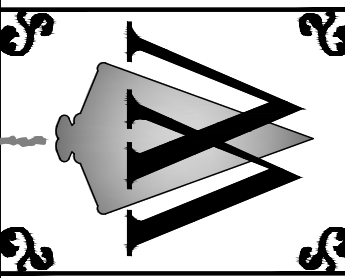
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LEGEND

- | | |
|--------------------------------------|-------------------------|
| --- RIGHT OF WAY LINES | ⊗ SECTION CORNER |
| --- PROPERTY LINES | ○ PROPERTY CORNERS |
| --- SECTION TIE | ⊙ MONUMENTS FOUND |
| --- CENTERLINE ROAD | ⊙ BENCHMARKS |
| --- APPARENT ADJOINING PROPERTY LINE | ⊙ UTILITY POLES |
| --- UTILITY EASEMENT LINES | ⊙ GUY WIRE |
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| --- BARBED WIRE FENCE LINES | ⊙ ELECTRIC METERS |
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| --- BUILDING AREAS | ⊙ WATER METERS |
| --- COVERED AREAS | ⊙ AIR CONDITIONING UNIT |
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| --- ASPHALT AREAS | ⊙ CORRUGATED METAL PIPE |
| --- GRAVEL AREAS | ⊙ HDPE |
| --- WATER AREAS | ⊙ POB |
| --- LEVEE AREAS | ⊙ POC |
| --- RIP RAP | ⊙ DEED CALLS |
| --- PLAT CALLS | ⊙ MEASURED CALLS |
- (N 79°36'00" W 210.00')
(S 89°57'34" W 210.00')
- (All symbols in legend may not be used on current survey.)

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Professional Engineers | Professional Land Surveyors



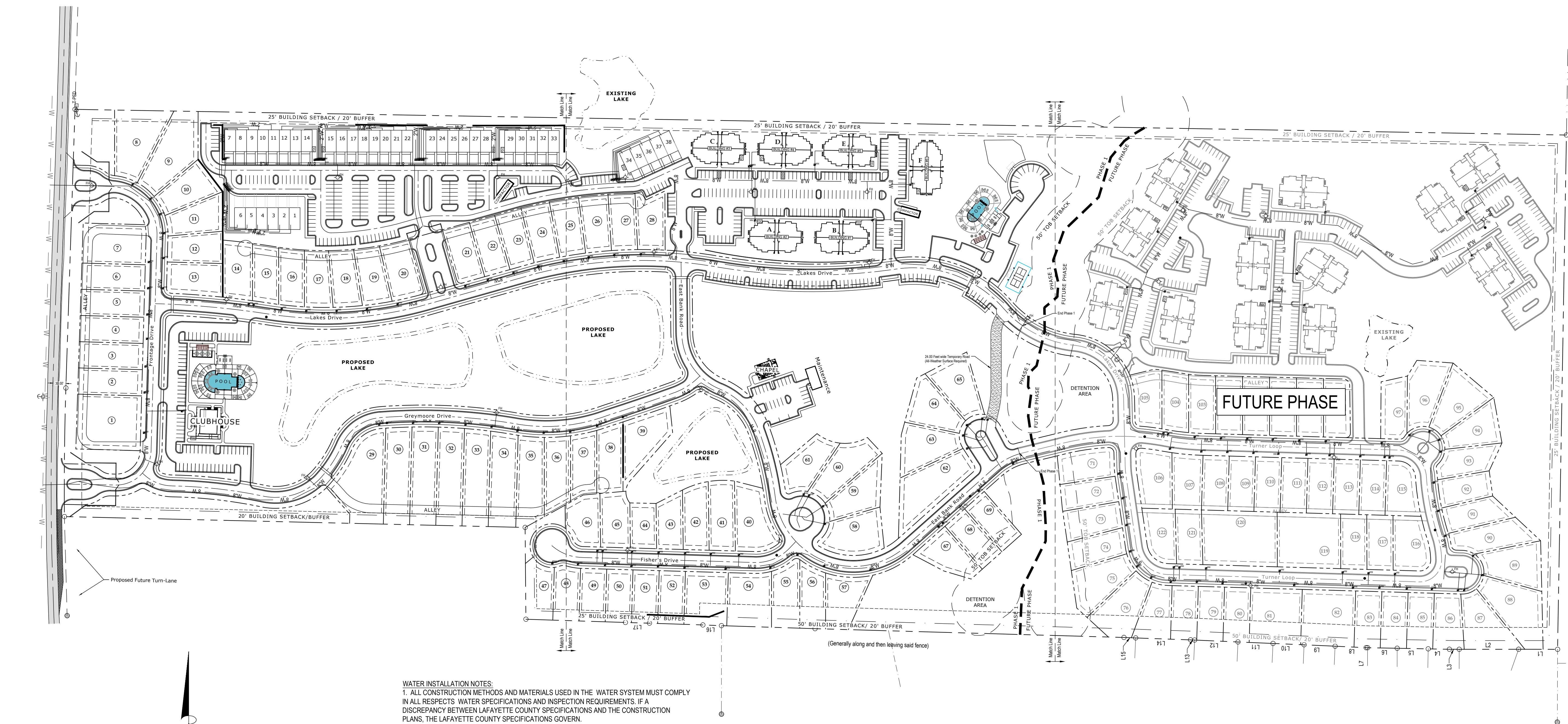
Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS











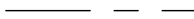

























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Utility
Layout

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C 3.2



	RIGHT OF WAY LINES		SECTION CORNER
	PROPERTY LINES		PROPERTY CORNERS
	SECTION TIE		MONUMENTS FOUND
	CENTERLINE ROAD		BENCHMARKS
	APPARENT ADJOINING PROPERTY LINE		UTILITY POLES
	UTILITY EASEMENT LINES		GUY WIRE
	OVERHEAD LINES		TELEPHONE PEDESTAL
	BARBED WIRE FENCE LINES		ELECTRIC METERS
	TREE LINES		GAS METERS
	BUILDING AREAS		WATER METERS
	COVERED AREAS		AIR CONDITIONING UNIT
	CONCRETE AREAS		CLEANOUT
	ASPHALT AREAS		CORRUGATED METAL PIPE
	GRAVEL AREAS		HIGH DENSITY POLYETHYLENE
	WATER AREAS		POINT OF BEGINNING
	LEVEE AREAS		POINT OF COMMENCEMENT
	RIP RAP		DEED CALLS
	PLAT CALLS		MEASURED CALLS

[N 79°36'00" W 210.00']
[N 79°36'00" W 210.00']
[S 89°57'34" W 210.00']

WATER INSTALLATION NOTES

2. THRUST BLOCKING WILL BE USED AT ALL BENDS, PLUGS, AND TEES FOR LINES 4" IN DIA. AND LARGER.

4. ANY CHANGES TO THE WATER DRAWINGS MUST BE APPROVED BY ENGINEER AND THE LAFAYETTE COUNTY.

6. CONTRACTOR SHALL FOLLOW NFPA STANDARD FOR INSTALLATION OF ALL FIRE LINES AND MUST ALSO HAVE TEST CERTIFICATE ON HAND FOR THE FIRE MARSHAL'S REVIEW.

8. ALL WATER SERVICES SHALL CONFORM TO THE SPECIFICATIONS OF THE LAFAYETTE COUNTY AND SHALL EXTEND TO WITHIN 5' OF THE BUILDING LINE OR IN A POSITION WHERE THE MECHANICAL CONTRACTOR FOR THE BUILDING CAN EASILY CONNECT TO IT. ALL TERMINATION POINTS SHALL BE CLEARLY MARKED (SEE WATER DETAILS).

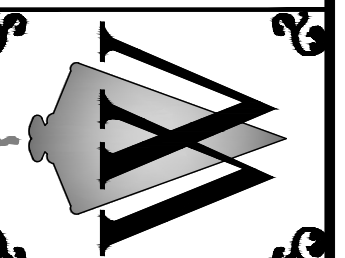
10. WATER MAINS ARE INDICATED ON THE PLANS AS LOCATED BY MISSISSIPPI 811 . IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL UTILITIES AS NEEDED.

12. LOCATION FOR DOMESTIC AND FIRE PROTECTIONS LINES ARE SHOWN ON PLANS. CONTRACTOR SHALL COORDINATE WITH MECHANICAL PLANS.

DEVELOPER.

15. ALL WATER AND SEWER ROADWAY CROSSINGS (MAIN & SERVICE LINES) SHALL BE IN CASINGS.

PRELIMINARY DESIGN ONLY, FINAL DESIGN AND
INSTALLATION TO BE COMPLETED BY OXFORD
UTILITIES.



Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

Scale: 1" = 120'

Date: 04/01/2026

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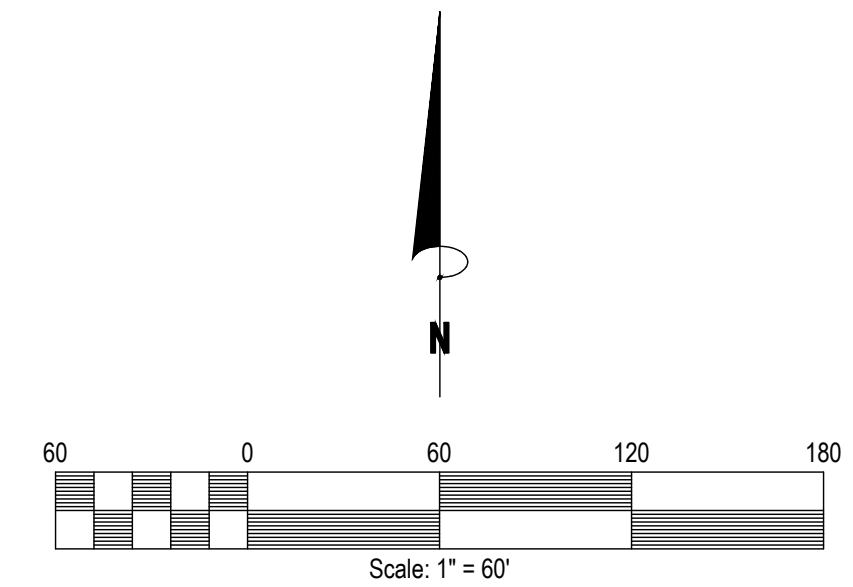
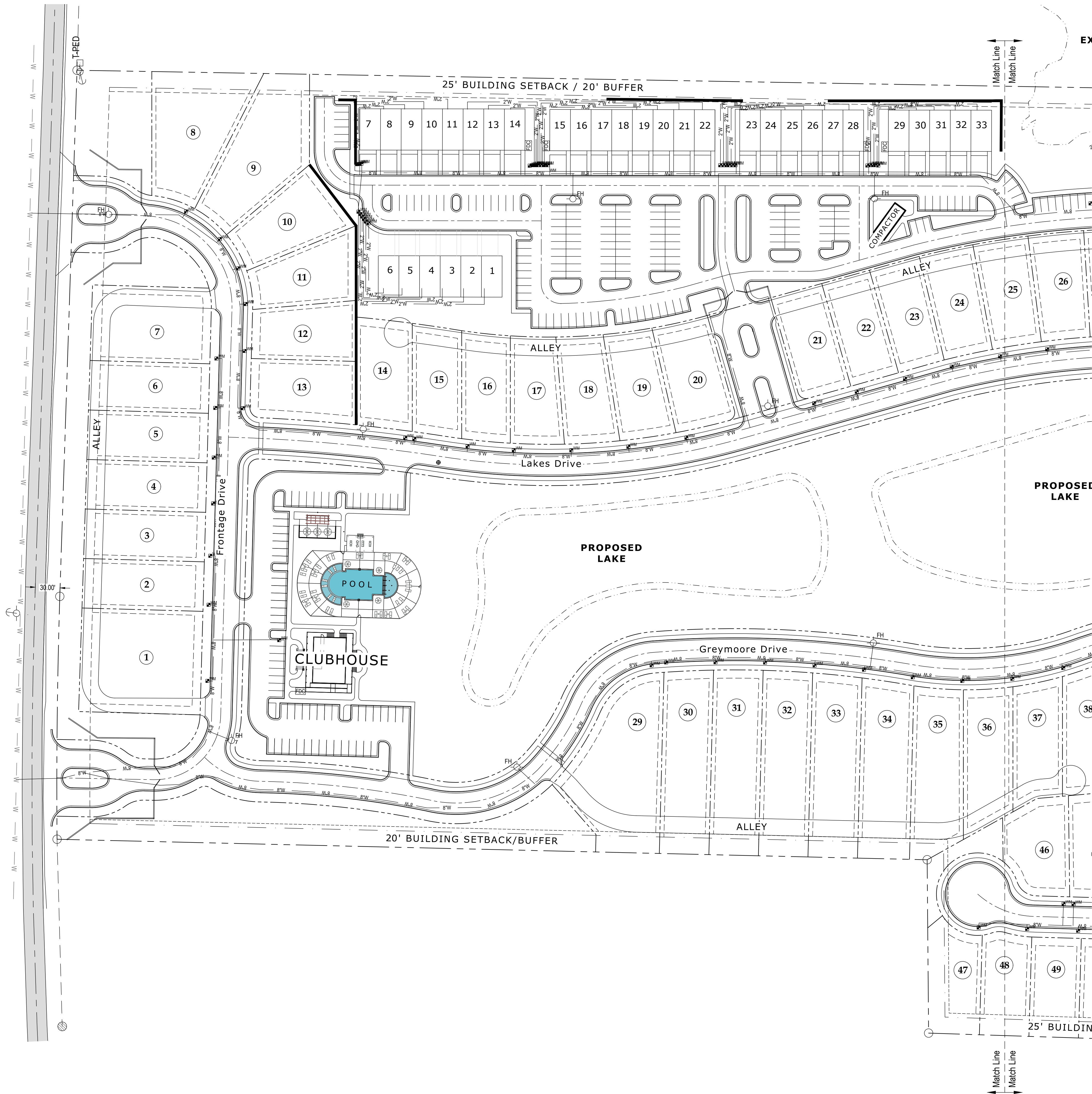
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Overall Water Plan

Sheet No.:

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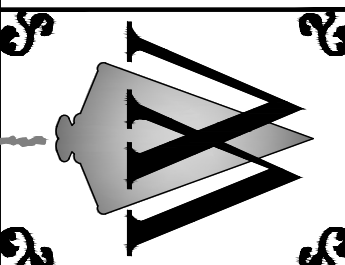
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RIGHT OF WAY LINES	SECTION CORNER
PROPERTY LINES	PROPERTY CORNERS
SECTION TIE	MONUMENTS FOUND
CENTERLINE ROAD	BENCHMARKS
APPARENT ADJOINING PROPERTY LINE	UTILITY POLES
UTILITY EASEMENT LINES	GUY WIRE
OVERHEAD LINES	TELEPHONE PEDESTAL
BARBED WIRE FENCE LINES	ELECTRIC METERS
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BUILDING AREAS	WATER METERS
COVERED AREAS	AIR CONDITIONING UNIT
CONCRETE AREAS	CLEANOUT
ASPHALT AREAS	CMP CORRUGATED METAL PIPE
GRAVEL AREAS	HDPE HIGH DENSITY POLYETHYLENE
WATER AREAS	POB POINT OF BEGINNING
LEVEE AREAS	POC POINT OF COMMENCEMENT
RIP RAP	DEED CALLS
PLAT CALLS	MEASURED CALLS

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- WATER INSTALLATION NOTES:**
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 2. THRUST BLOCKING WILL BE USED AT ALL BENDS, PLUGS, AND TEES FOR LINES 4" IN DIA. AND LARGER.
 3. FIRE HYDRANTS SHOWN ON THE RADIUS OF A CURVE SHALL BE FIELD ADJUSTED SO THAT THE ACTUAL INSTALLATION OF FIRE HYDRANTS WILL BE A MIN. OF 3' OUTSIDE OF CURVE RADIUS.
 4. ANY CHANGES TO THE WATER DRAWINGS MUST BE APPROVED BY ENGINEER AND THE LAFAYETTE COUNTY.
 5. ALL REFERENCE TO "3 WAY FH REQ'D" SHALL BE FIRE HYDRANT ASSEMBLIES THAT CONFORM TO THE SPECIFICATIONS OF THE LAFAYETTE COUNTY. (SEE WATER DETAIL SH. C10-2)
 6. CONTRACTOR SHALL FOLLOW NFPA STANDARD FOR INSTALLATION OF ALL FIRE LINES AND MUST ALSO HAVE TEST CERTIFICATE ON HAND FOR THE FIRE MARSHAL'S REVIEW.
 7. THE CONTRACTOR SHALL PERMANENTLY MARK OR PHYSICALLY STAMP CURBS WITH A "W" WHERE WATER SERVICES CROSS THEM. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT AND LETTERS SHALL BE VISIBLE FROM THE CENTERLINE OF STREET.
 8. ALL WATER SERVICES SHALL CONFORM TO THE SPECIFICATIONS OF THE LAFAYETTE COUNTY AND SHALL EXTEND TO WITHIN 5' OF THE BUILDING LINE OR IN A POSITION WHERE THE MECHANICAL CONTRACTOR FOR THE BUILDING CAN EASILY CONNECT TO IT. ALL TERMINATION POINTS SHALL BE CLEARLY MARKED (SEE WATER DETAILS).
 9. METER BOXES MEETING THE LAFAYETTE COUNTY'S REQUIREMENTS SHALL BE PROVIDED FOR EACH BUILDING BY THE DEVELOPER AND INSTALLED TO GRADE.
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 11. COORDINATE NUMBER, SIZE AND LOCATION OF IRRIGATION METERS WITH LANDSCAPE DESIGN PLAN.
 12. LOCATION FOR DOMESTIC AND FIRE PROTECTIONS LINES ARE SHOWN ON PLANS. CONTRACTOR SHALL COORDINATE WITH MECHANICAL PLANS.
 13. ALL WATER SERVICE LINES SHALL MEET THE SPECIFICATIONS FOR THE LAFAYETTE COUNTY.
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 15. ALL WATER AND SEWER ROADWAY CROSSINGS (MAIN & SERVICE LINES) SHALL BE IN CASINGS.

PRELIMINARY DESIGN ONLY, FINAL DESIGN AND
INSTALLATION TO BE COMPLETED BY HOPEWELL
WATER ASSOCIATION



REVISION	DATE

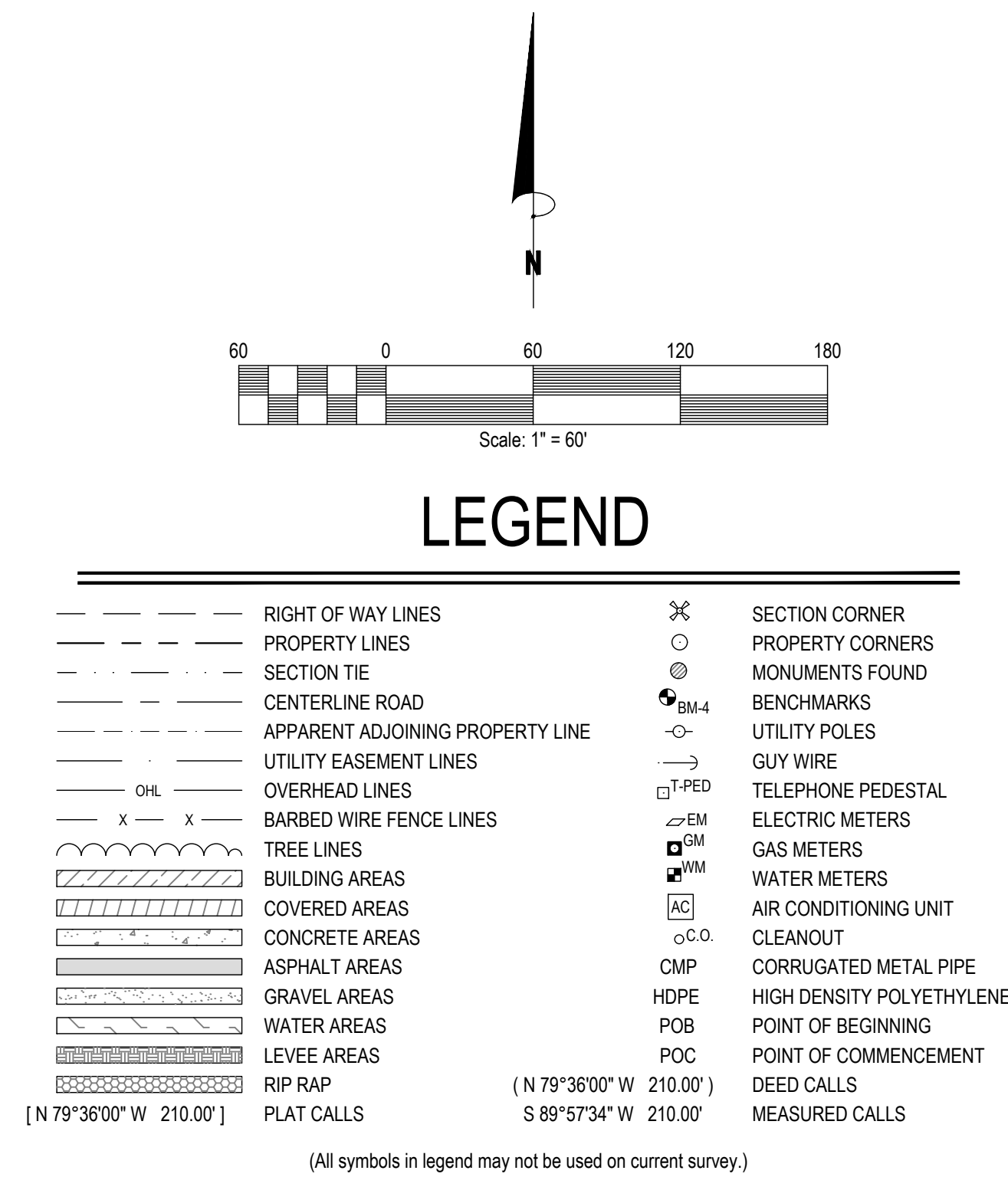
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Checked By:	JWW

Sheet Title:

Water
Plan

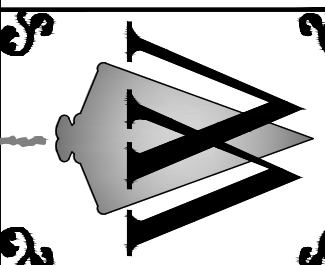
Sheet No.:

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PRELIMINARY DESIGN ONLY, FINAL DESIGN AND
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WATER ASSOCIATION



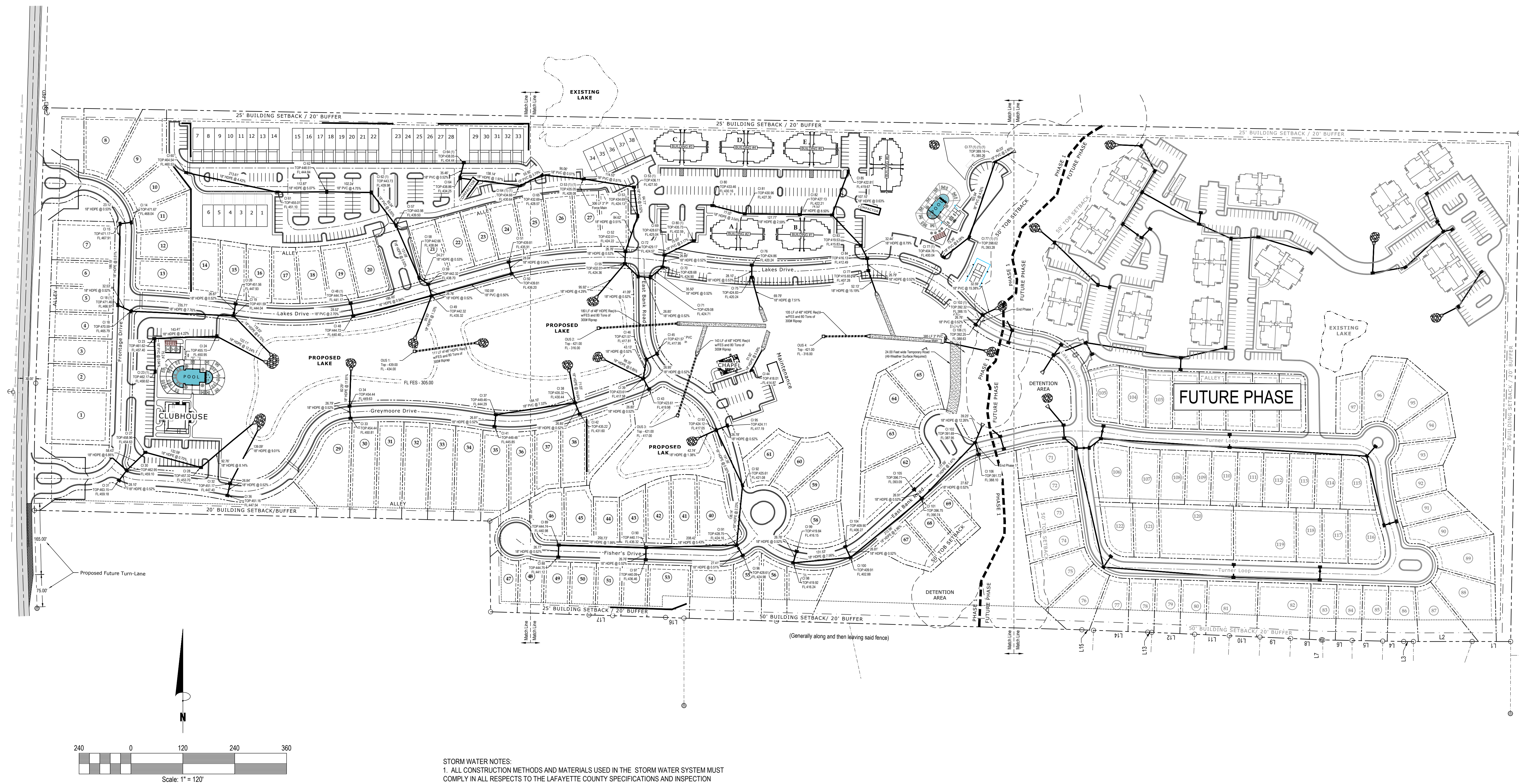
Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

Scale:	1" = 60'
Date:	04/01/2026
File:	SB-244076 (Steve Bryan CR 101)W sign/Steve Bryan CR 101 Design.d
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Checked By:	JWW
Sheet Title:	

Water
Plan

Sheet No.:
C 4.2



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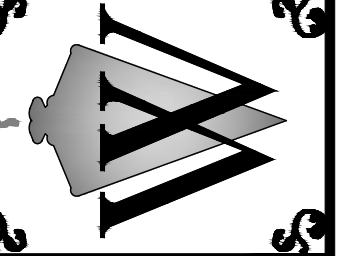
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--- PROPERTY LINES	○ PROPERTY CORNERS
--- SECTION TIE	⊙ MONUMENTS FOUND
--- CENTERLINE ROAD	⊙ BM-4 BENCHMARKS
--- APPARENT ADJOINING PROPERTY LINE	--- UTILITY POLES
--- UTILITY EASEMENT LINES	--- GUY WIRE
--- OVERHEAD LINES	□ T-PED TELEPHONE PEDESTAL
--- BARBED WIRE FENCE LINES	⊙ EM ELECTRIC METERS
--- TREE LINES	⊙ GM GAS METERS
--- BUILDING AREAS	⊙ WM WATER METERS
--- COVERED AREAS	⊙ AC AIR CONDITIONING UNIT
--- CONCRETE AREAS	⊙ C.O. CLEANOUT
--- ASPHALT AREAS	--- CMP CORRUGATED METAL PIPE
--- GRAVEL AREAS	--- HDPE HIGH DENSITY POLYETHYLENE
--- WATER AREAS	--- POB POINT OF BEGINNING
--- LEVEE AREAS	--- POC POINT OF COMMENCEMENT
--- RIP RAP	--- DEED CALLS
--- PLAT CALLS	--- MEASURED CALLS

(All symbols in legend may not be used on current survey.)

STORM WATER NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE STORM WATER SYSTEM MUST COMPLY IN ALL RESPECTS TO THE LAFAYETTE COUNTY SPECIFICATIONS AND INSPECTION REQUIREMENTS. IF A DISCREPANCY BETWEEN THE LAFAYETTE COUNTY SPECIFICATIONS AND THE CONSTRUCTION PLANS, THE LAFAYETTE COUNTY SPECIFICATIONS GOVERN.
2. ANY CHANGES TO THE STORMWATER WATER DRAWINGS MUST BE APPROVED BY ENGINEER AND THE LAFAYETTE COUNTY.
3. ALL INLETS IN COUNTY ROW SHALL BE MDOT SS-2 WITH CAST-IN-PLACE TOPS AND ACCESSIBLE LIDS.
4. DRAINAGE BASINS IN COUNTY ROW SHALL BE CAST-IN-PLACE CONCRETE INLETS OR PRECAST CONCRETE INLETS.
5. ONSITE INLETS SHALL BE NYLOPLAST BASINS OR APPROVED EQUAL. SEE MANUFACTURERS SPECIFICATIONS AND DETAILS.
6. NO DRAINS WILL BE INSTALLED IN TRUCK DOCK AREAS. CONTRACTOR SHALL INSTALL PIPE AS SHOWN. TEMPORARY PLUG PIPE AND MARK FOR FUTURE CONNECTION. TIES WILL BE MADE TO CURB INLETS BY THE CONTRACTOR AS SHOWN.
7. ALL PVC INSTALLED FOR ROOF DRAINS SHALL HAVE A CLEAN OUT AT TERMINI FOR ACCESS AND MAINTENANCE.
8. ALL STORM DRAIN AND SEWER SHALL BE INSPECTED BY CAMERA AND IN THE PRESENCE OF A COUNTY REPRESENTATIVE. ANY DAMAGE OR DEFICIENCIES SHALL BE REMOVED AND REPLACED AND OR REPAIRED IN ACCORDANCE TO MANUFACTURERS AT THE DISCRETION OF THE COUNTY. ALL REPAIRS SHALL BE MADE PRIOR TO COUNTY ACCEPTANCE.
9. ALL JUNCTION BOXES ARE TO HAVE SURFACE ACCESS.

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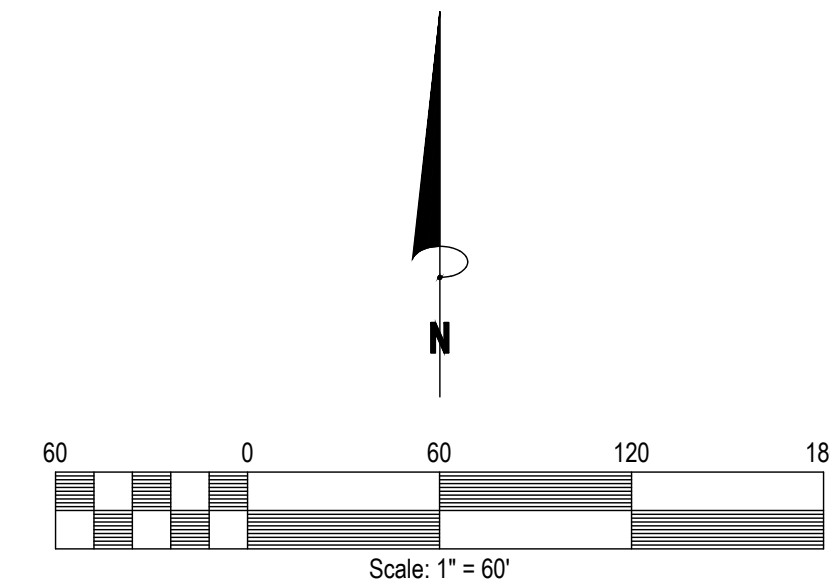
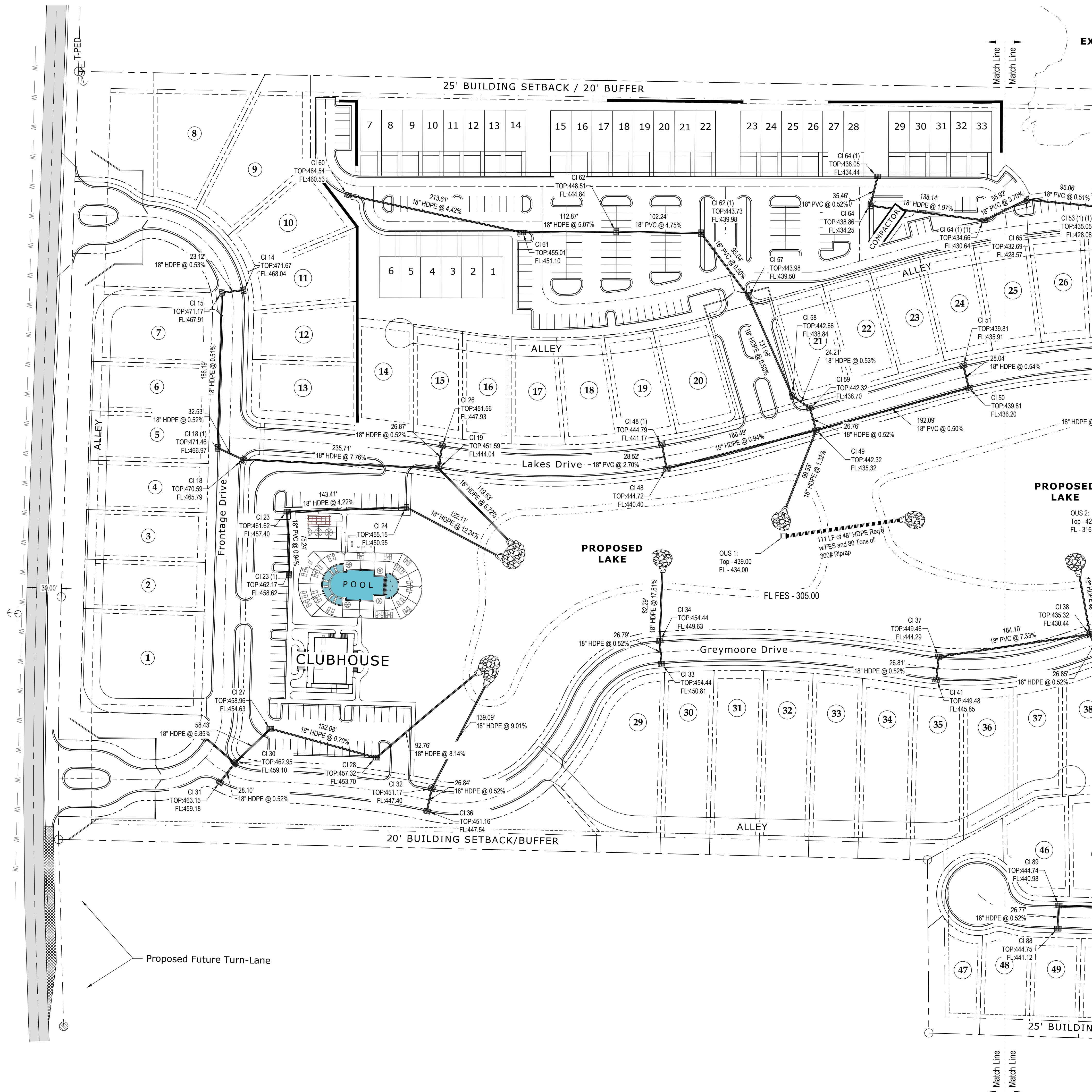
Construction Plans For:
Lamar Lakes
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REVISION	DATE

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Overall Storm
Sewer Plan

Sheet No.:
C 5.0

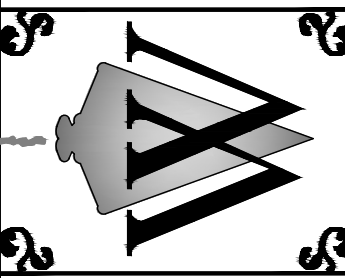


LEGEND

RIGHT OF WAY LINES	SECTION CORNER
PROPERTY LINES	PROPERTY CORNERS
SECTION TIE	MONUMENTS FOUND
CENTERLINE ROAD	BENCHMARKS
APPARENT ADJOINING PROPERTY LINE	UTILITY POLES
UTILITY EASEMENT LINES	GUY WIRE
OHL	TELEPHONE PEDESTAL
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COVERED AREAS	AIR CONDITIONING UNIT
CONCRETE AREAS	CLEANOUT
ASPHALT AREAS	CMP
GRAVEL AREAS	HDPE
WATER AREAS	POB
LEVEE AREAS	POC
RIP RAP	DEED CALLS
PLAT CALLS	MEASURED CALLS

- STORM WATER NOTES:
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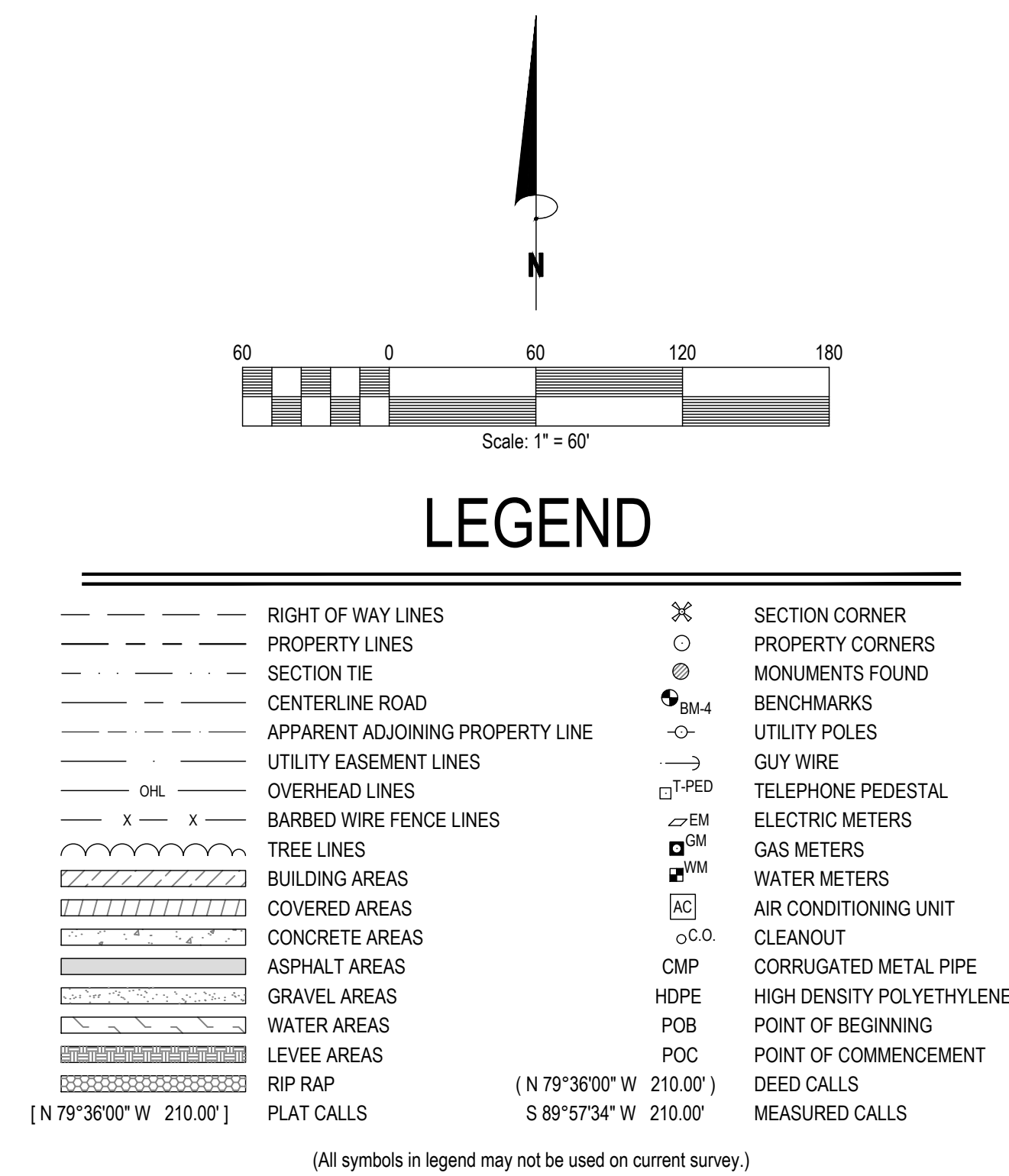
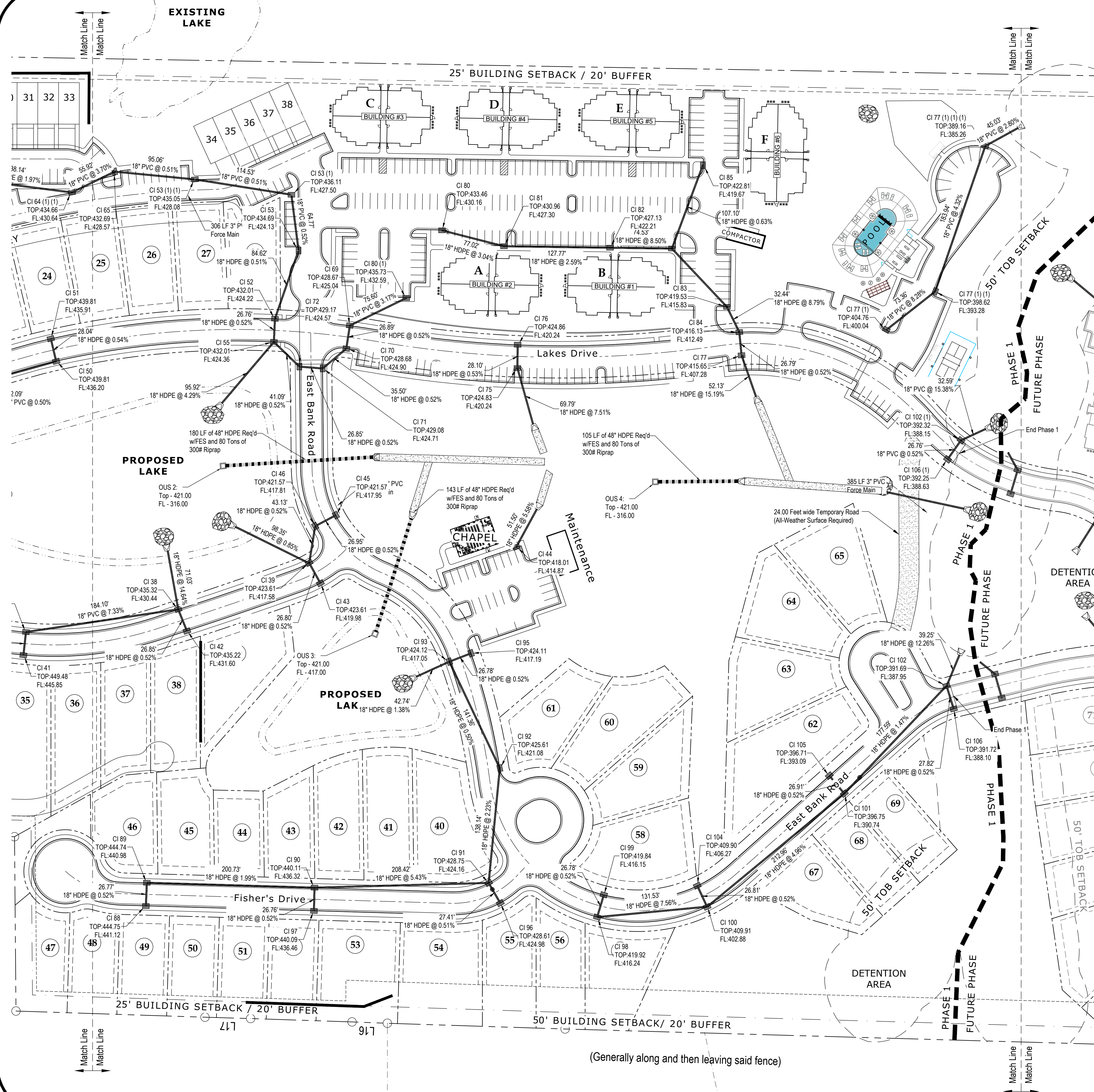


Construction Plans For:
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REVISION	DATE

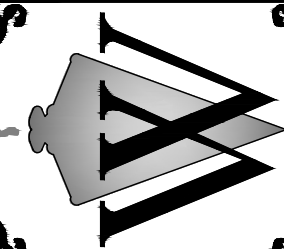
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Storm
Sewer Plan
Sheet No.: C 5.1



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3. ALL INLETS IN COUNTY ROW SHALL BE MDOT SS-2 WITH CAST-IN-PLACE TOPS AND ACCESSIBLE LIDS.
4. DRAINAGE BASINS IN COUNTY ROW SHALL BE CAST-IN-PLACE CONCRETE INLETS OR PRECAST CONCRETE INLETS .
5. ONSITE INLETS SHALL BE NYLOPLAST BASINS OR APPROVED EQUAL. SEE MANUFACTURERS SPECIFICATIONS AND DETAILS.
6. NO DRAINS WILL BE INSTALLED IN TRUCK DOCK AREAS. CONTRACTOR SHALL INSTALL PIPE AS SHOWN, TEMPORARY PLUG PIPE AND MARK FOR FUTURE CONNECTION. TIES WILL BE MADE TO CURB INLETS BY THE CONTRACTOR AS SHOWN.
7. ALL PVC INSTALLED FOR ROOF DRAINS SHALL HAVE A CLEAN OUT AT TERMINI FOR ACCESS AND MAINTENANCE.
8. ALL STORM DRAIN AND SEWER SHALL BE INSPECTED BY CAMERA AND IN THE PRESENCE OF A COUNTY REPRESENTATIVE. ANY DAMAGE OR DEFICIENCIES SHALL BE REMOVED AND REPLACED AND OR REPAIRED IN ACCORDANCE TO MANUFACTURERS AT THE DISCRETION OF THE COUNTY. ALL REPAIRS SHALL BE MADE PRIOR TO COUNTY ACCEPTANCE.

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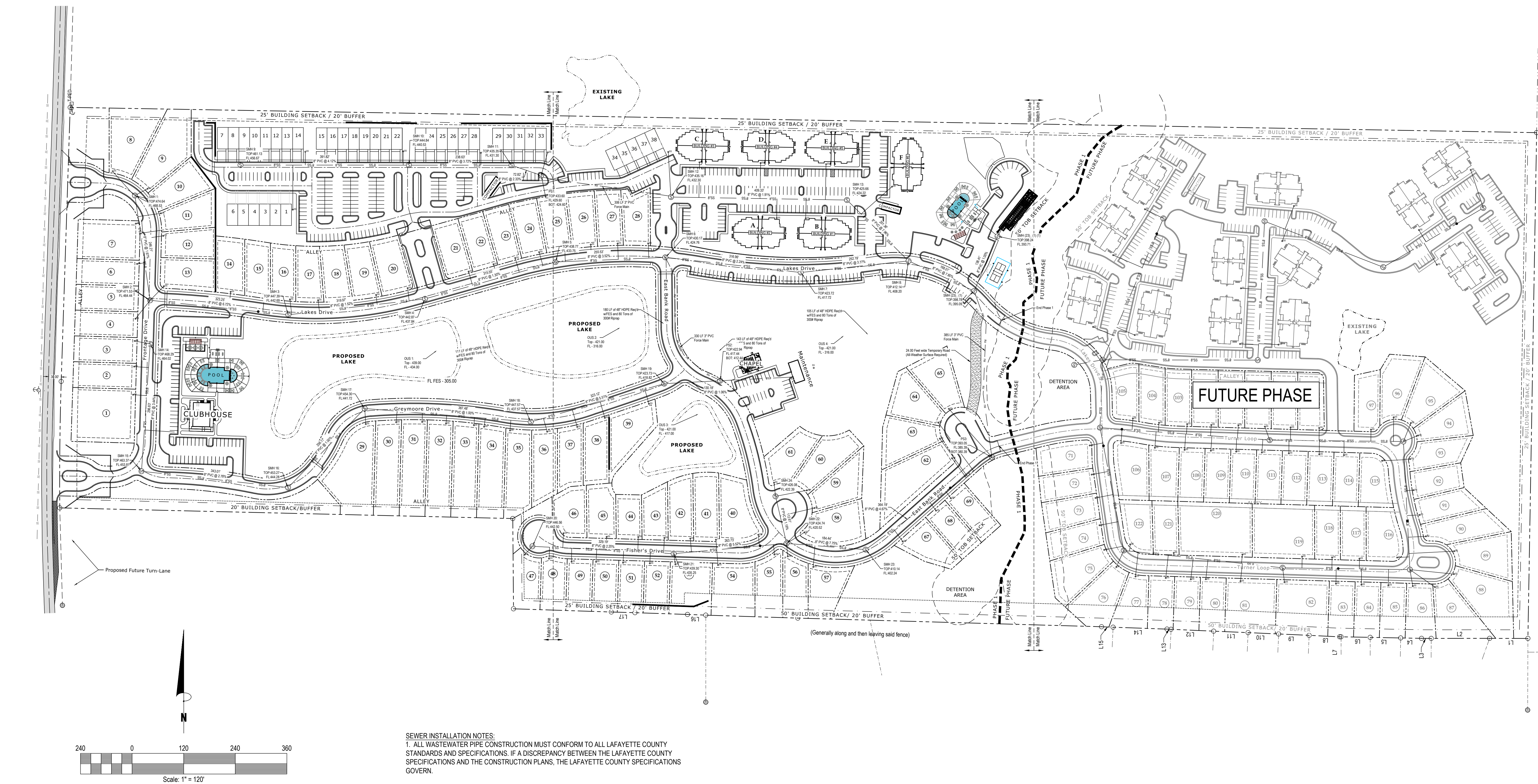
Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

Scale:	1" = 60'
Date:	04/01/2026
File:	SB-244076 (Steve Bryan CR 101 sign)/Steve Bryan CR 101 Design
Proj.No.:	SB-244076
Drawn By:	JCP/JWW
Checked By:	JWW
Sheet Title:	

Storm Sewer Plan

Sheet No.



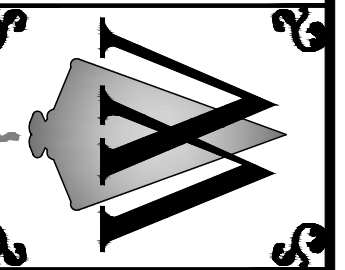
LEGEND

--- RIGHT OF WAY LINES	✕ SECTION CORNER
--- PROPERTY LINES	○ PROPERTY CORNERS
--- SECTION TIE	⊙ MONUMENTS FOUND
--- CENTERLINE ROAD	⊙ BM.4 BENCHMARKS
--- APPARENT ADJOINING PROPERTY LINE	--- UTILITY POLES
--- UTILITY EASEMENT LINES	--- GUY WIRE
--- OVERHEAD LINES	□ T-PED TELEPHONE PEDESTAL
--- BARBED WIRE FENCE LINES	⊙ EM ELECTRIC METERS
--- TREE LINES	⊙ GM GAS METERS
--- BUILDING AREAS	⊙ WM WATER METERS
--- COVERED AREAS	⊙ AC AIR CONDITIONING UNIT
--- CONCRETE AREAS	⊙ SS SEWER SERVICE CLEANOUT
--- ASPHALT AREAS	⊙ CMP CORRUGATED METAL PIPE
--- GRAVEL AREAS	⊙ HDPE HIGH DENSITY POLYETHYLENE
--- WATER AREAS	⊙ POB POINT OF BEGINNING
--- LEVEE AREAS	⊙ POC POINT OF COMMENCEMENT
--- RIP RAP (N 79°36'00" W 210.00')	⊙ DEED CALLS
--- PLAT CALLS (S 89°57'34" W 210.00')	--- MEASURED CALLS

(All symbols in legend may not be used on current survey.)

SEWER INSTALLATION NOTES:

1. ALL WASTEWATER PIPE CONSTRUCTION MUST CONFORM TO ALL LAFAYETTE COUNTY STANDARDS AND SPECIFICATIONS. IF A DISCREPANCY BETWEEN THE LAFAYETTE COUNTY SPECIFICATIONS AND THE CONSTRUCTION PLANS, THE LAFAYETTE COUNTY SPECIFICATIONS GOVERN.
2. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS.
3. ALL PROPOSED SANITARY SEWER PIPING SHALL BE INSTALLED AT A GRADE OF NO LESS THAN 0.40 % OR PER LAFAYETTE COUNTY STANDARDS, WHICHEVER IS GREATER.
4. SEWERS SHOULD BE LAID AT LEAST 10 FEET HORIZONTALLY AND 18" VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN, WITH THE WATER MAIN ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN OR THE SEWER SHOULD BE DUCTILE IRON OR SHALL BE ENCASED IN DUCTILE IRON OR CONCRETE FOR A MINIMUM OF ONE FULL JOINT LENGTH ON EACH SIDE OF THE CROSSING.
5. ALL SEWER SERVICE SHALL BE 6" PVC UP TO BUILDING CLEANOUTS, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL SERVICE LINES SHALL MEET THE SPECIFICATIONS OF THE LAFAYETTE COUNTY.
6. SEWER SERVICES SHALL BE INSTALLED TO WITHIN 5' OF THE BUILDING.
7. ALL STORM DRAIN AND SEWER SHALL BE INSPECTED BY CAMERA AND IN THE PRESENCE OF A COUNTY REPRESENTATIVE. ANY DAMAGE OR DEFICIENCIES SHALL BE REMOVED AND REPLACED AND OR REPAIRED IN ACCORDANCE TO MANUFACTURERS AT THE DISCRETION OF THE COUNTY. ALL REPAIRS SHALL BE MADE PRIOR TO COUNTY ACCEPTANCE.
8. ALL SEWER CLEAN OUTS SHALL BE WATER TIGHT TO PREVENT INFILTRATION AND SHALL BE OF MATERIAL TYPE TO WITHSTAND HEAVY DUTY TRAFFIC (e.g. NEENAH 1975-A OR APPROVED EQUAL).
9. ALL SEWER LOCATED OUTSIDE OF COUNTY RIGHT-OF-WAY WILL BE PRIVATELY OWNED AND MAINTAINED.
10. ALL WATER AND SEWER ROADWAY CROSSINGS (MAIN & SERVICE LINES) SHALL BE IN CASINGS.

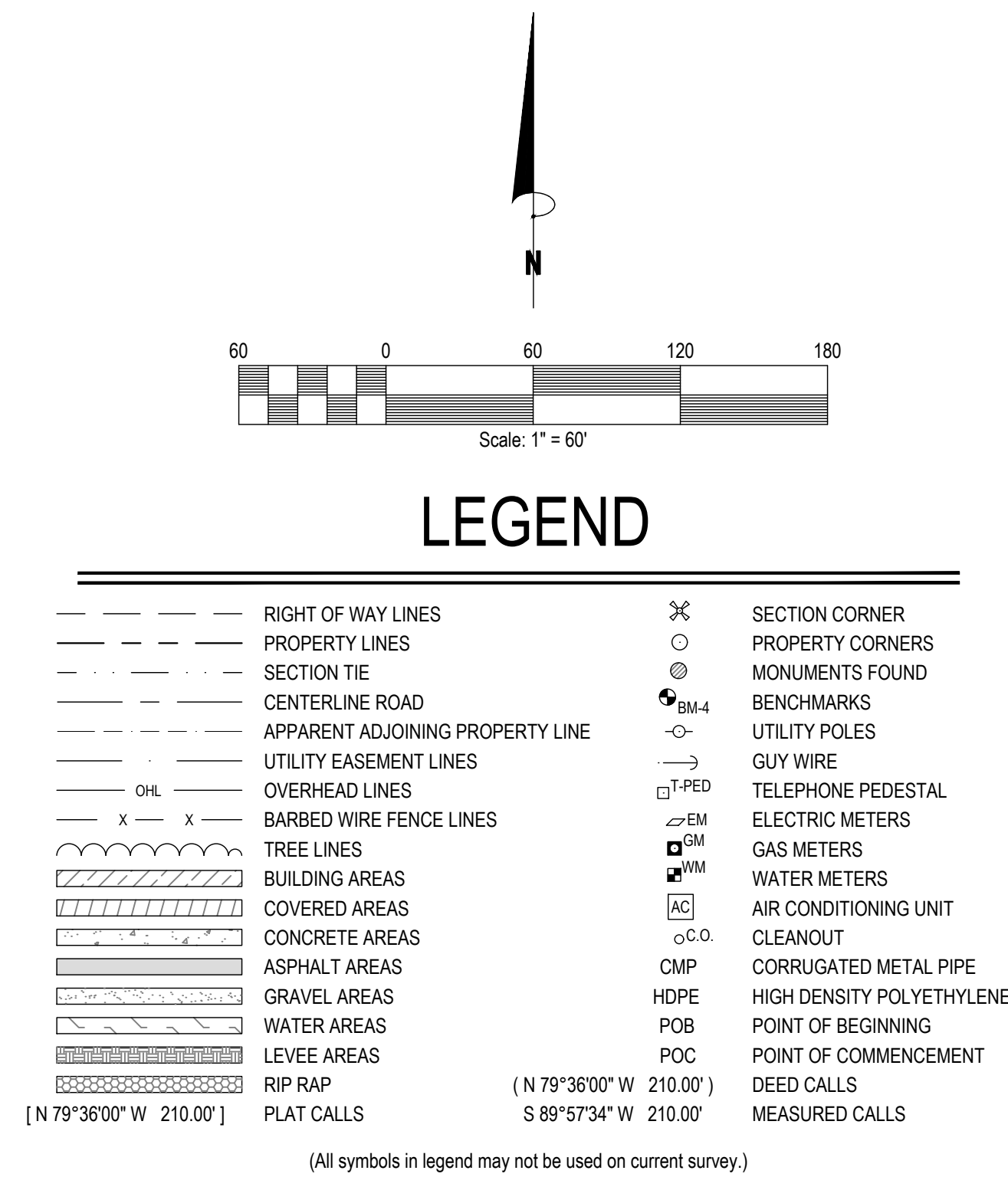


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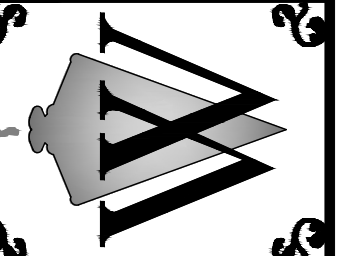
Overall Sewer
Plan



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Construction Plans For:
Lamar Lakes
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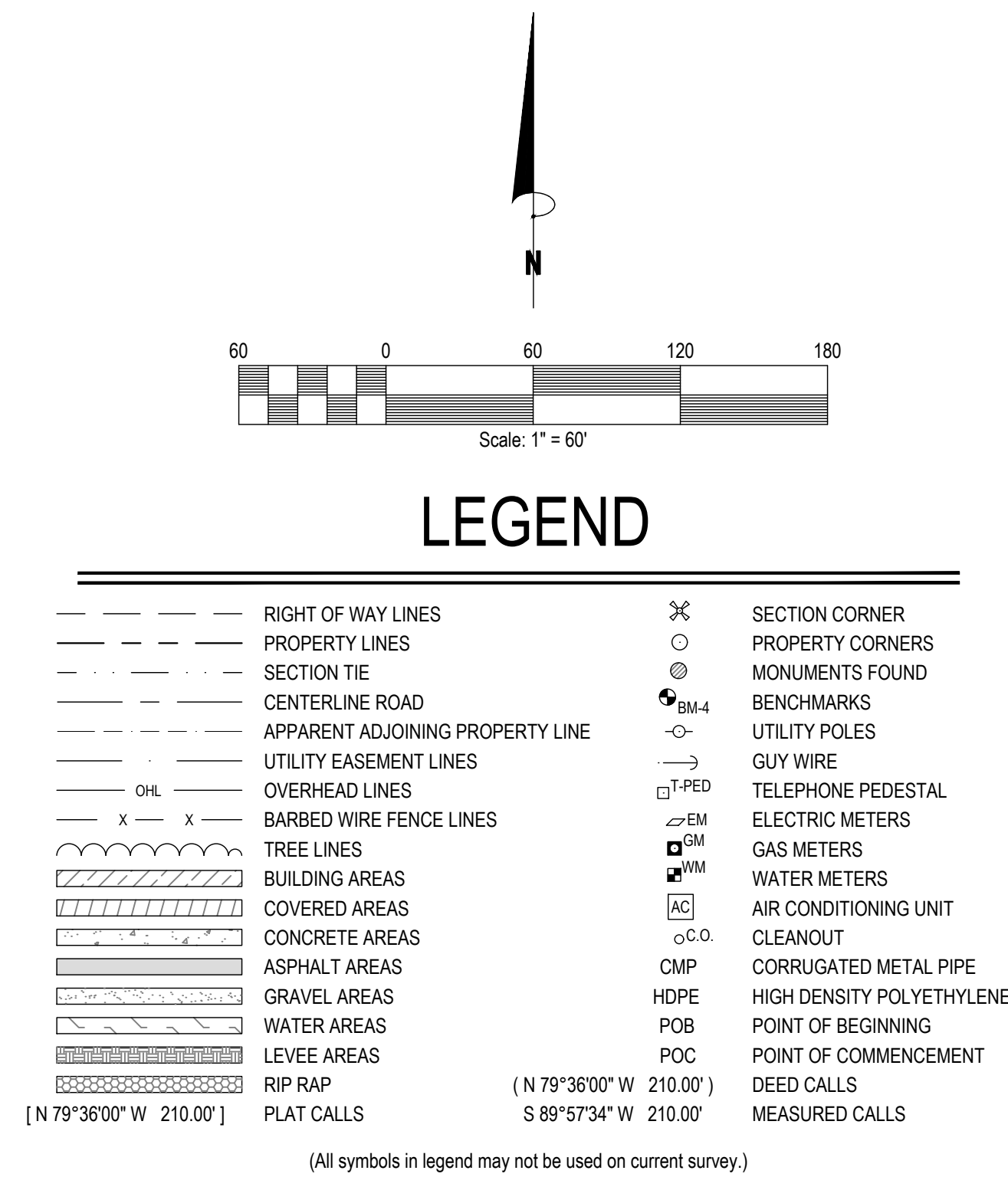
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Sewer Plan

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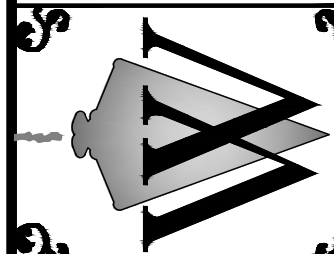
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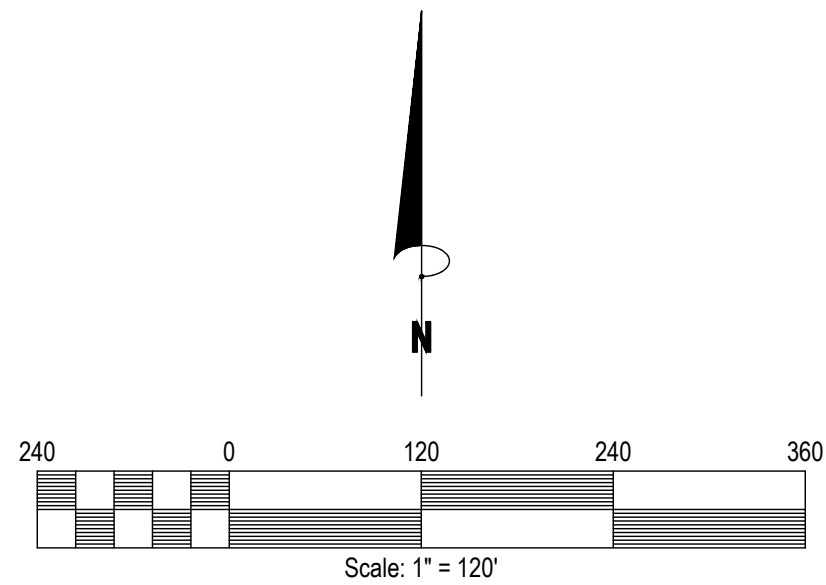
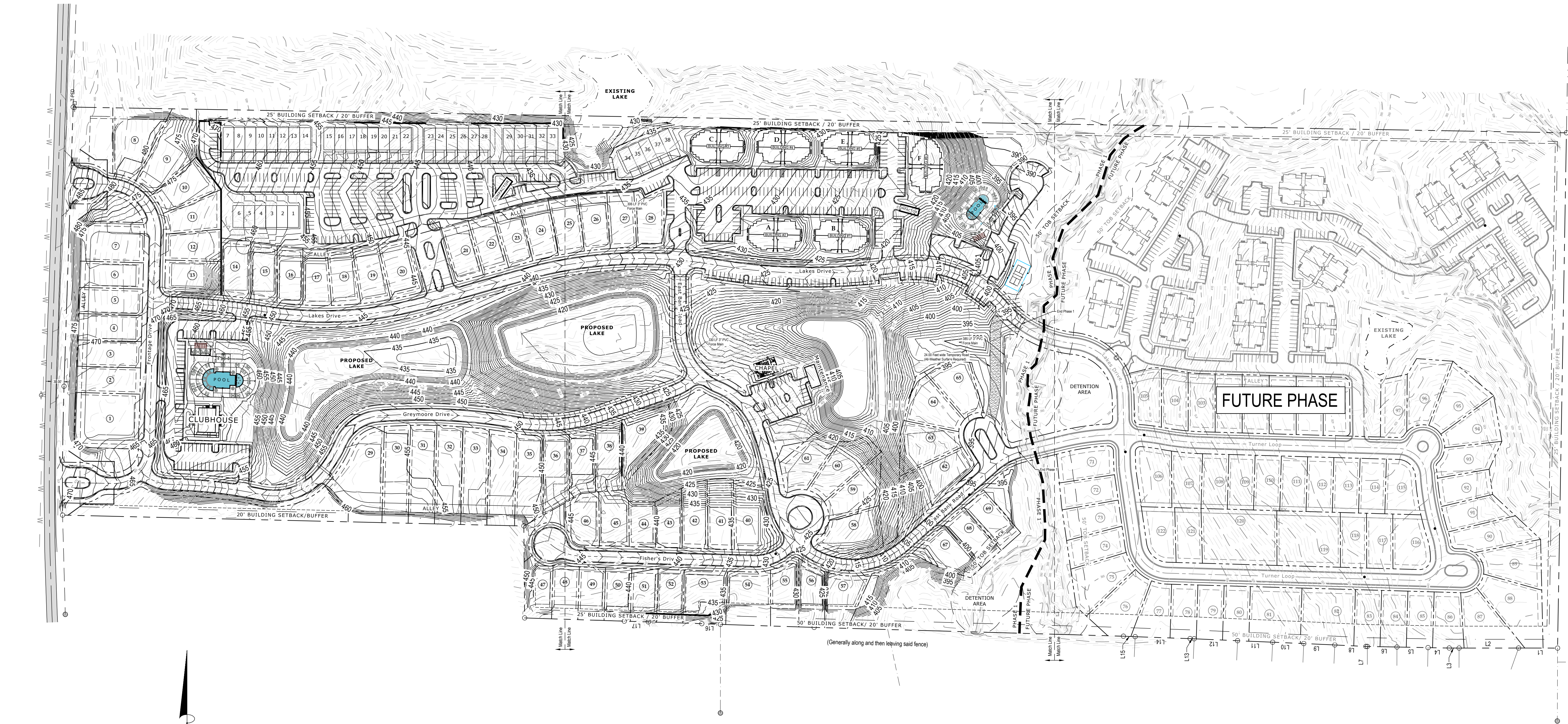
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Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

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Sewer Plan

Sheet No.:
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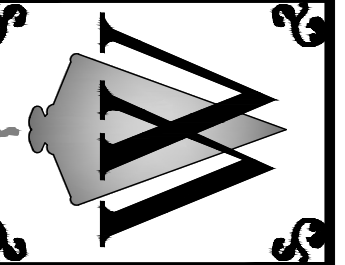


LEGEND

—	RIGHT OF WAY LINES	✕	SECTION CORNER
---	PROPERTY LINES	○	PROPERTY CORNERS
---	SECTION TIE	⊙	MONUMENTS FOUND
---	CENTERLINE ROAD	⊙	BENCHMARKS
---	APPARENT ADJOINING PROPERTY LINE	⊙	UTILITY POLES
---	UTILITY EASEMENT LINES	⊙	GUY WIRE
---	OHL	⊙	TELEPHONE PEDESTAL
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---	BUILDING AREAS	⊙	AIR CONDITIONING UNIT
---	COVERED AREAS	⊙	CLEANOUT
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---	ASPHALT AREAS	⊙	HDPE
---	GRAVEL AREAS	⊙	HIGH DENSITY POLYETHYLENE
---	WATER AREAS	⊙	POB
---	LEVEE AREAS	⊙	POINT OF BEGINNING
---	RIP RAP	⊙	POINT OF COMMENCEMENT
---	PLAT CALLS	⊙	DEED CALLS
		⊙	MEASURED CALLS

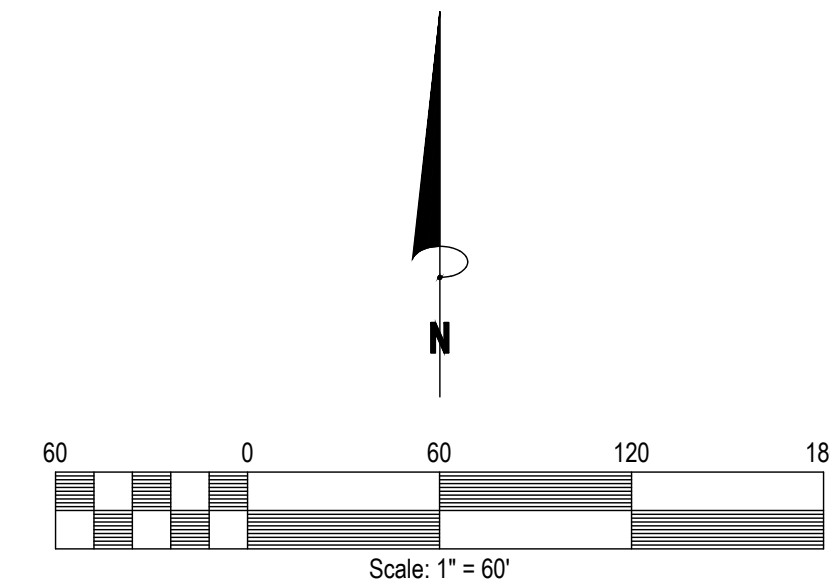
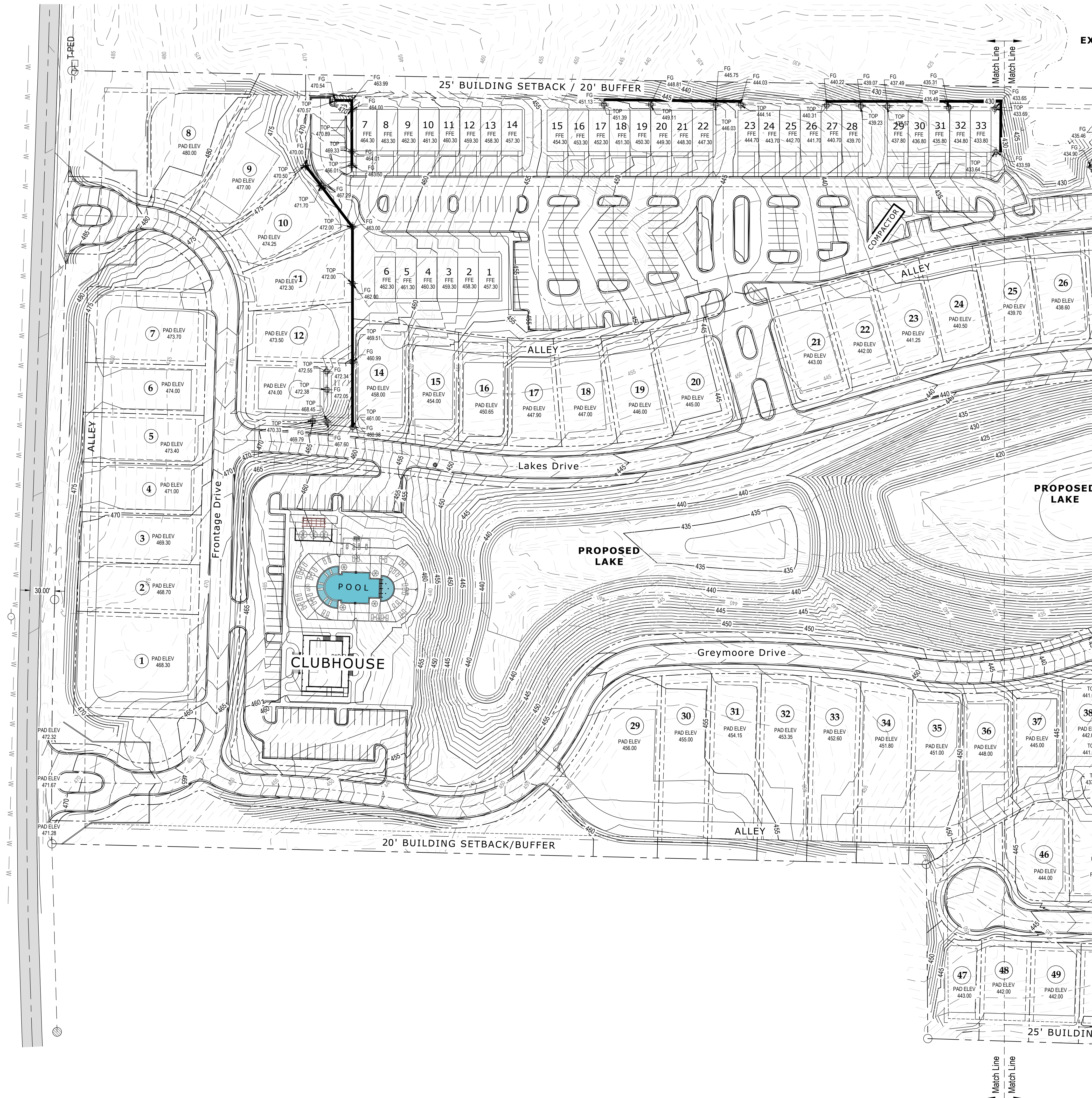
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*NOTE: Lot Owners / Developers shall grade the proposed lots to ensure storm water is not routed to the proposed house structures. Lots shall be graded in an effort to force storm water runoff towards the front of the lots into the street ditches. Storm water runoff shall not be directed to neighboring properties both inside and outside of the development.



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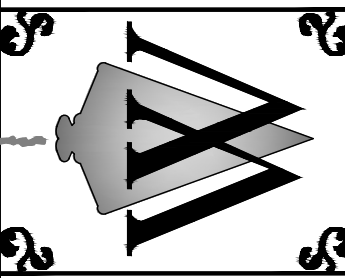
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| RIGHT OF WAY LINES | SECTION CORNER |
| PROPERTY LINES | PROPERTY CORNERS |
| SECTION TIE | MONUMENTS FOUND |
| CENTERLINE ROAD | BENCHMARKS |
| APPARENT ADJOINING PROPERTY LINE | UTILITY POLES |
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| BARBED WIRE FENCE LINES | ELECTRIC METERS |
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720 NORTH LAMAR BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.236.9675



Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

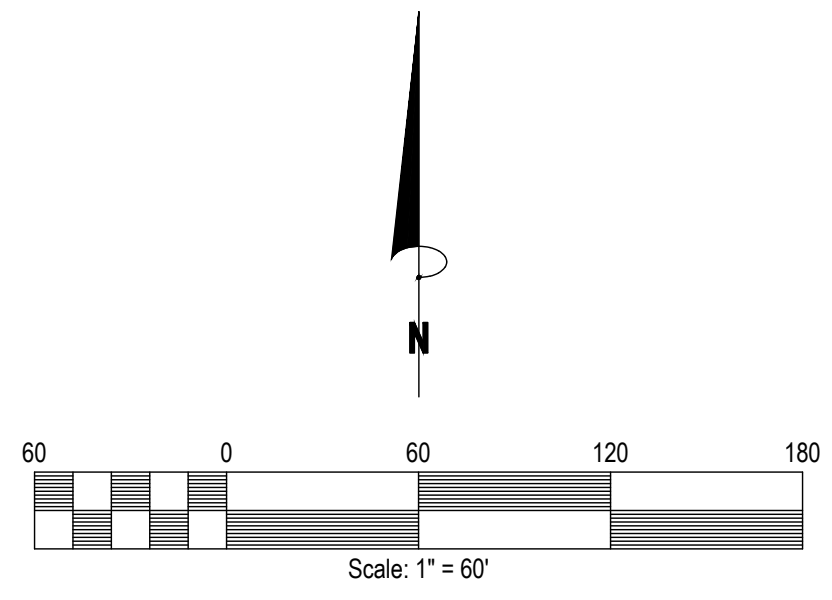
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Grading
Plan

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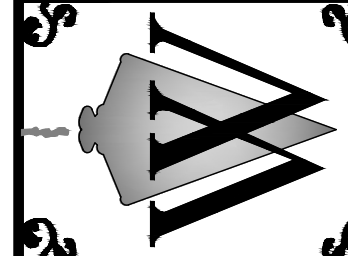
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| RIGHT OF WAY LINES | SECTION CORNER |
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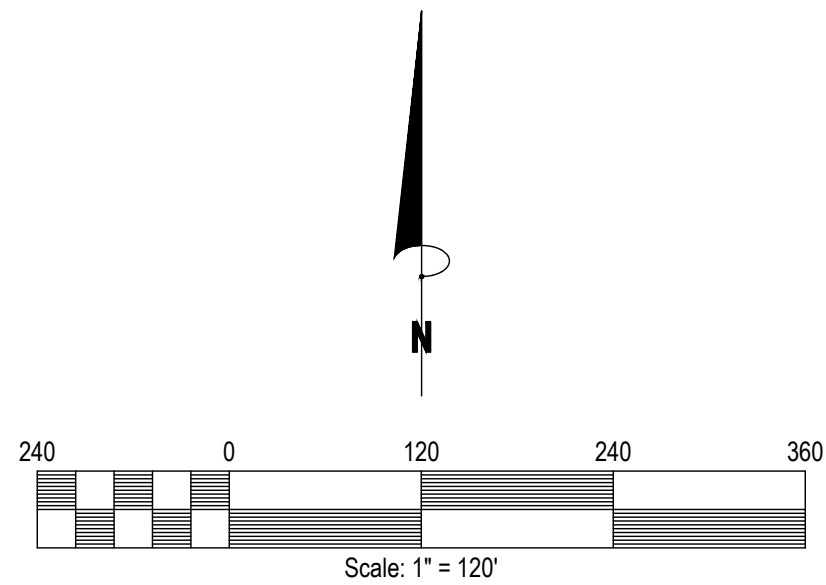
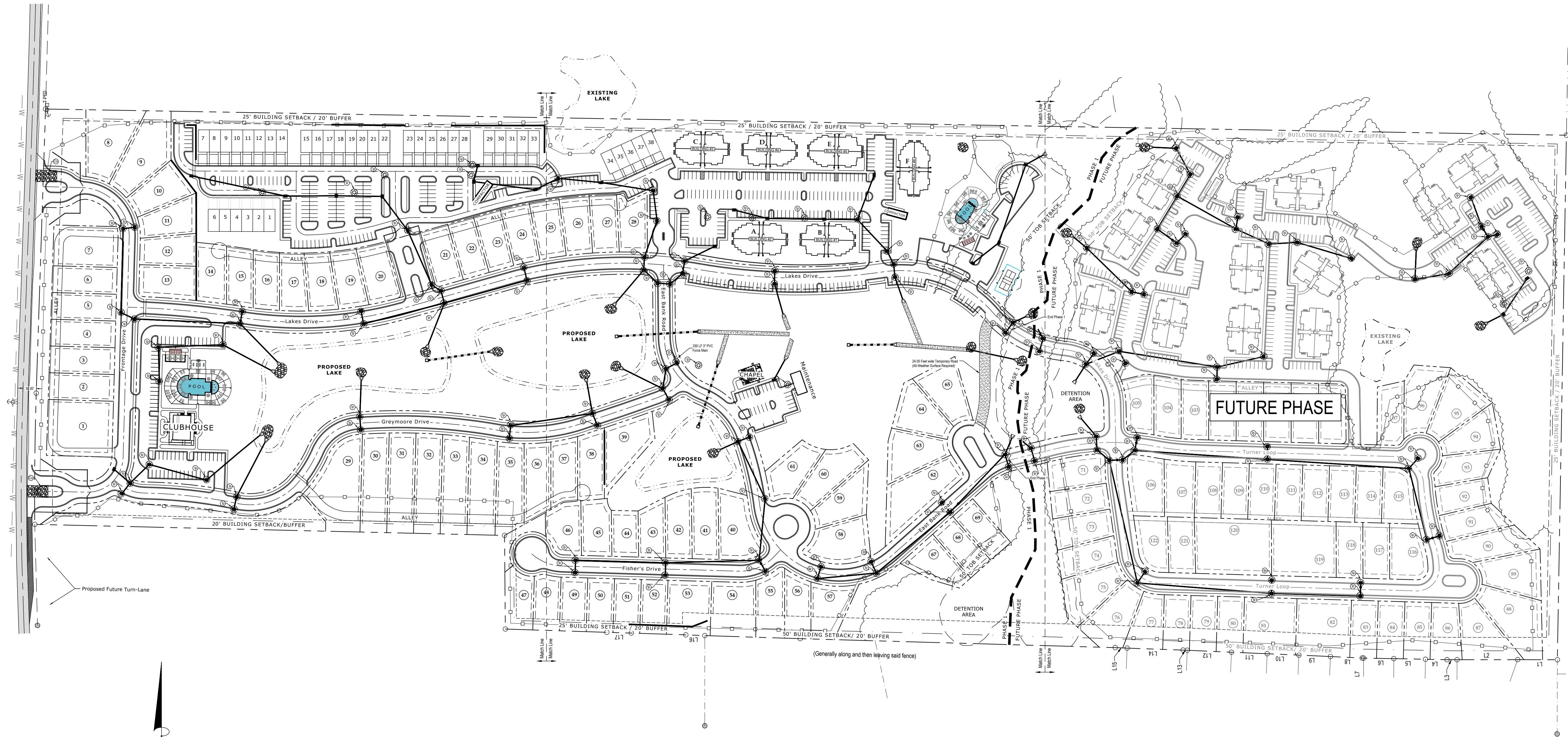
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Construction Plans For:
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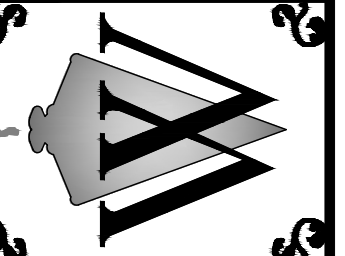
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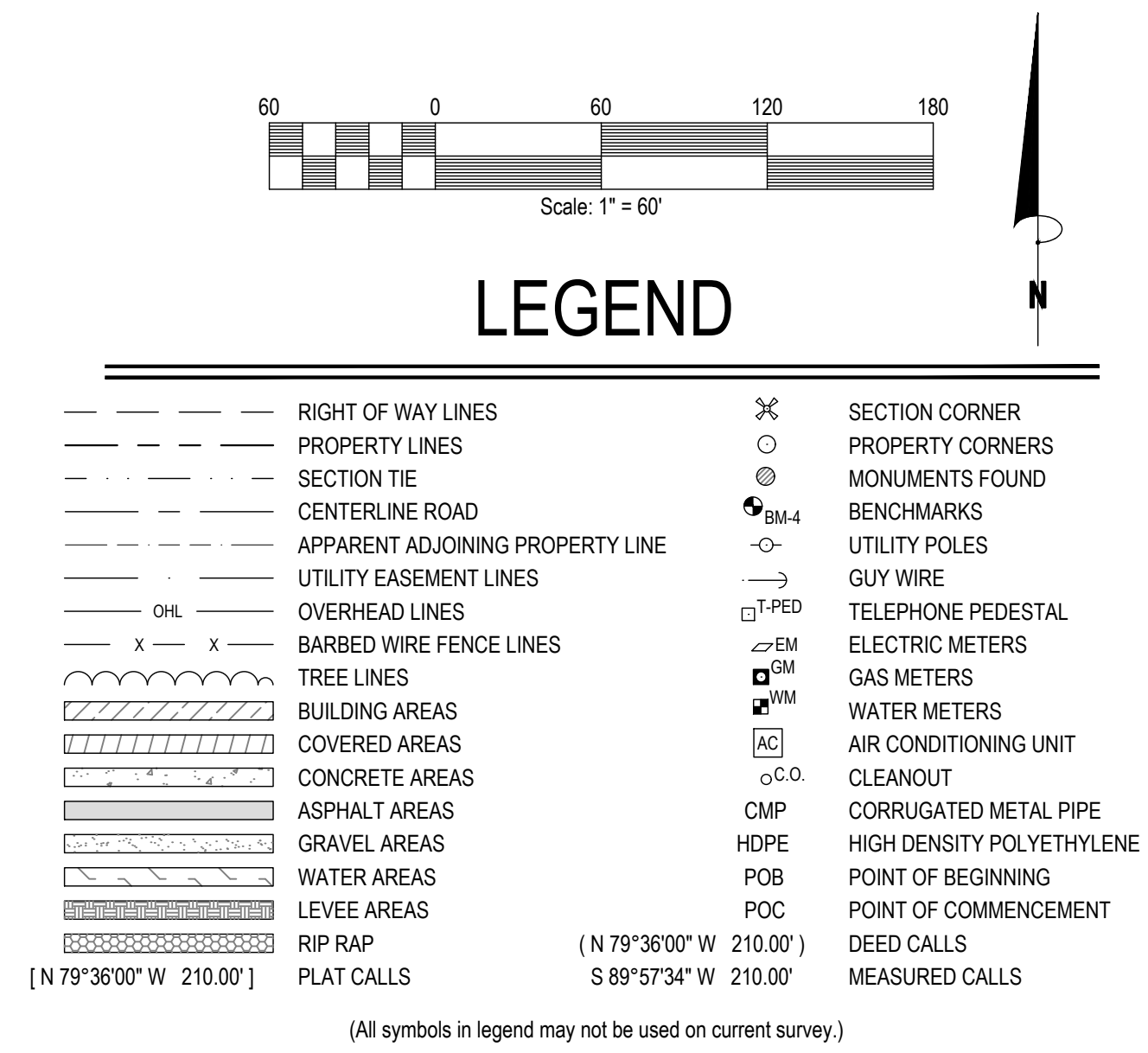
EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE MEETING AND MAINTAINING ALL REQUIREMENTS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) LARGE CONSTRUCTION GENERAL PERMIT (CNO), INCLUDING BUT IS NOT LIMITED TO EROSION CONTROL INSPECTIONS. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MDEQ CONSTRUCTION GENERAL PERMIT WILL BE PROVIDED TO THE OWNER, BUT SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL A COPY OF THE SWPPP AND MDEQ CONSTRUCTION GENERAL PERMIT IS IN HAND.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE DURATION OF SITE CONSTRUCTION ACTIVITIES OR UNTIL GROWTH OF GRASS IS ESTABLISHED.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, WATTLES OR OTHER EROSION CONTROL DEVICES WHERE NECESSARY TO PREVENT SILT OR SEDIMENT ACCUMULATION IN ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
4. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED AND/OR SOODED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
5. SEE STORM WATER POLLUTION PREVENTION PLAN FOR HOUSEKEEPING CONTROLS.
6. CONTRACTOR SHALL SET ASIDE AN AREA NEAR THE CONSTRUCTION ENTRANCE FOR ALL CONCRETE WASH DOWN OPERATIONS. THE CONTRACTOR SHALL INSTALL AN EARTHEN BERM AROUND THE WASH DOWN AREA TO INSURE NO WATER IS ALLOWED TO LEAVE THE AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS AREA FOR THE ENTIRE LENGTH OF THE PROJECT.
7. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF OXFORD'S LANDSCAPE ORDINANCE BY INSTALLING AND MAINTAINING THE REQUIRED TREE PROTECTION FENCE.
8. EXISTING VEGETATION ALONG PROPERTY LINES WILL BE RETAINED WHERE ALLOWABLE.
9. NO MUD, SILT OR SEDIMENT IS ALLOWED TO GATHER ON PUBLIC ROADS. THE CONTRACTOR SHALL IMMEDIATELY TAKE ACTION TO REMOVE MATERIAL.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING DUST TO A MINIMUM AT ALL TIMES.
11. ALL INLET SHALL RECEIVE INLET PROTECTION AT ALL TIMES DURING CONSTRUCTION.
12. CONCRETE WASH OUT AREA, MATERIAL STORAGE AREA AND EMERGENCY MAINTENANCE AREA TO BE LOCATED NEAR JOB TRAILER. JOB TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR.
13. CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES ON EXISTING ESTABLISHED SLOPES.
14. SILT FENCE SHALL BE INSTALLED FOR EROSION CONTROL PURPOSES AND AS A CONSTRUCTION BARRIER.
15. IT IS ULTIMATELY THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SEDIMENT DOES NOT LEAVE THE SITE OR ENTER ADJACENT DRAINAGE AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE ADDITIONAL BEST MANAGEMENT PRACTICES AND SHALL BE ADDED AT THE CONTRACTOR'S EXPENSE.



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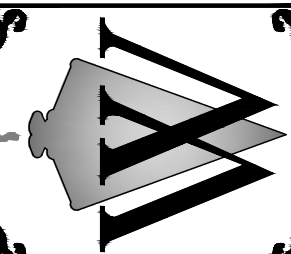
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1. THE CONTRACTOR SHALL BE RESPONSIBLE MEETING AND MAINTAINING ALL REQUIREMENTS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MEQ) LARGE CONSTRUCTION GENERAL PERMIT (CNOI), INCLUDING BUT IS NOT LIMITED TO EROSION CONTROL INSPECTIONS, THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MEQ CONSTRUCTION GENERAL PERMIT WILL BE PROVIDED TO THE CONTRACTOR BUT SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL A COPY OF THE SWPPP AND MEQ CONSTRUCTION GENERAL PERMIT IN HAND.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE DURATION OF SITE CONSTRUCTION ACTIVITIES OR UNTIL GROWTH OF GRASS IS ESTABLISHED.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, MATES OR OTHER EROSION CONTROL DEVICES WHERE NECESSARY TO PREVENT SILT OR SEDIMENT ACCUMULATION IN ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
4. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED AND/OR SOODED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
5. SEE STORM WATER POLLUTION PREVENTION PLAN FOR HOUSEKEEPING CONTROLS.
6. CONTRACTOR SHALL SET ASIDE AN AREA NEAR THE CONSTRUCTION ENTRANCE FOR ALL CONCRETE WASH DOWN OPERATIONS. THE CONTRACTOR SHALL INSTALL AN EARTHEN BERRI AROUND THE WASH DOWN AREA TO INSURE NO WATER IS ALLOWED TO LEAVE THE AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS AREA FOR THE ENTIRE LENGTH OF THE PROJECT.
7. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF OXFORDS LANDSCAPE ORDINANCE BY INSTALLING AND MAINTAINING THE REQUIRED TREE PROTECTION FENCE.
8. EXISTING VEGETATION ALONG PROPERTY LINES WILL BE RETAINED WHERE ALLOWABLE.
9. NO MUD, SILT OR SEDIMENT IS ALLOWED TO GATHER ON PUBLIC ROADS. THE CONTRACTOR SHALL IMMEDIATELY TAKE ACTION TO REMOVE MATERIAL.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING DUST TO A MINIMUM AT ALL TIMES.
11. ALL INLET SHALL RECEIVE INLET PROTECTION AT ALL TIMES DURING CONSTRUCTION.
12. CONCRETE WASH OUT AREA, MATERIAL STORAGE AREA AND EMERGENCY MAINTENANCE AREA TO BE LOCATED NEAR JOB TRAILER. JOB TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR.
13. CONTRACTOR SHALL SHALL LIMIT CONSTRUCTION ACTIVITIES ON EXISTING ESTABLISHED SLOPES.
14. SILT FENCE SHALL BE INSTALLED FOR EROSION CONTROL PURPOSES AND AS A CONSTRUCTION BARRIER.
15. IT IS ULTIMATELY THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT SEDIMENT DOES NOT LEAVE THE SITE OR ENTER ADJACENT DRAINAGE AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO USE ADDITIONAL BEST MANAGEMENT PRACTICES AND SHALL BE ADDED AT THE CONTRACTORS EXPENSE.

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Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

Scale: 1" = 60'

Date: 04/01/2026

File: SB-244076 (Steve Bryan CR 101)
sign\Steve Bryan CR 101 Design\

Proj.No.: SB-244076

Drawn By: JCP/JWW

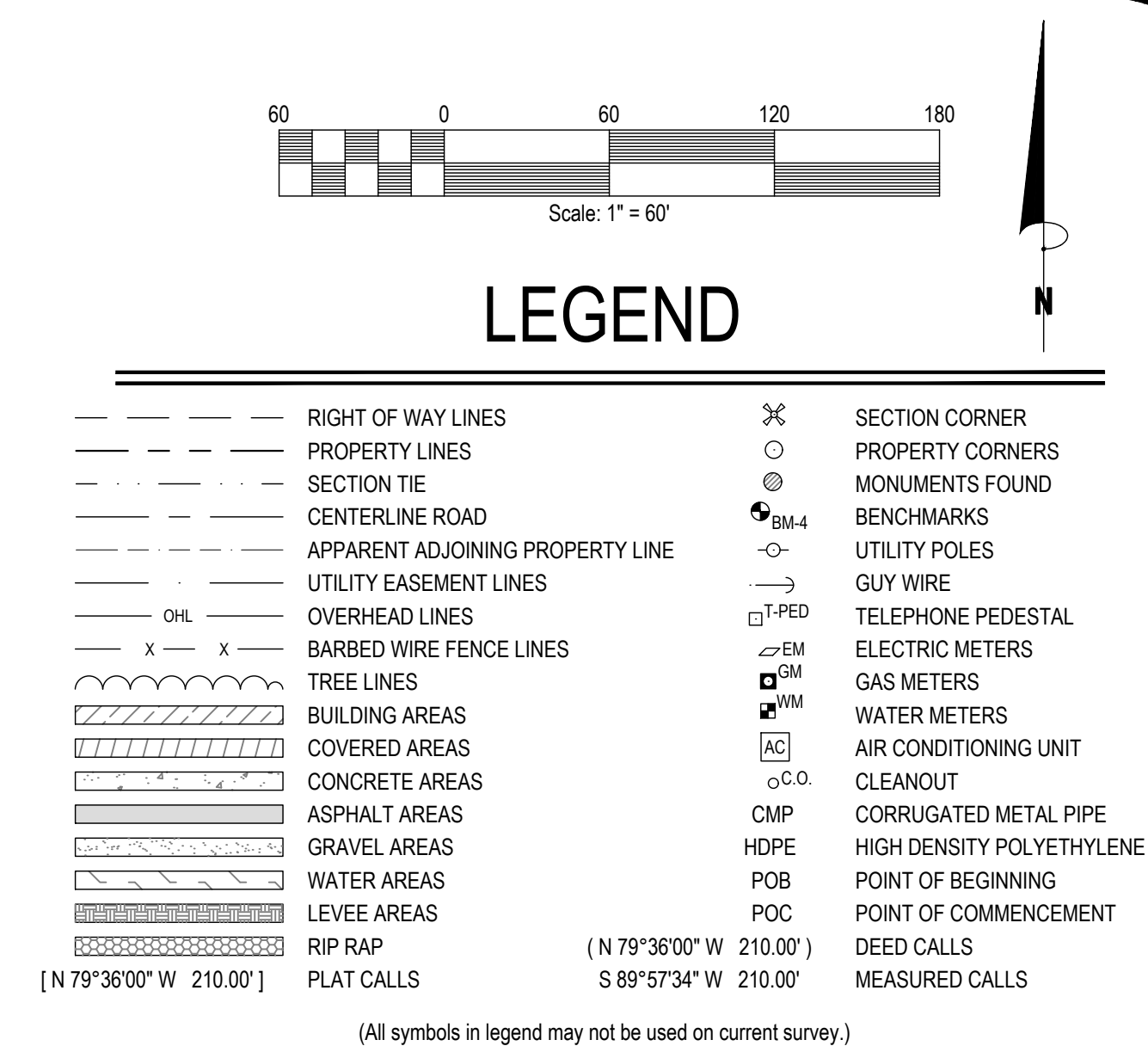
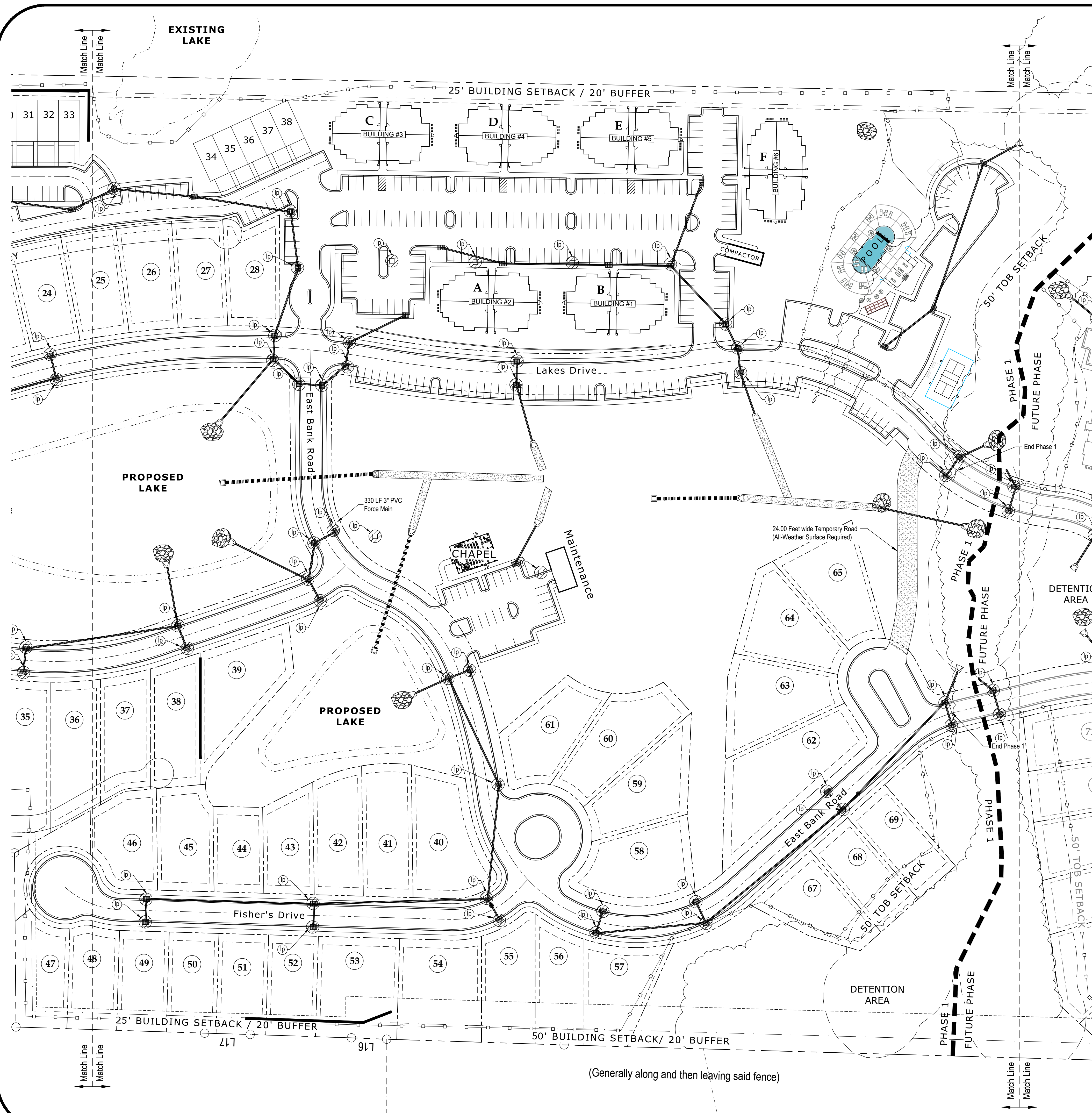
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Sheet Title:

Erosion Control Plan

Sheet No.:

C 8.1



EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE MEETING AND MAINTAINING ALL REQUIREMENTS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) LARGE CONSTRUCTION GENERAL PERMIT (CNO). INCLUDING BUT IS NOT LIMITED TO EROSION CONTROL INSPECTIONS, THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MDEQ CONSTRUCTION GENERAL PERMIT WILL BE PROVIDED TO THE OWNER, BUT SHALL BE ALLOWED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL A COPY OF THE SWPPP AND MDEQ CONSTRUCTION GENERAL PERMIT IN HAND.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE DURATION OF SITE CONSTRUCTION ACTIVITIES OR UNTIL GROWTH OF GRASS IS ESTABLISHED.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, NATTLES OR OTHER EROSION CONTROL DEVICES WHERE NECESSARY TO PREVENT SILT OR SEDIMENT ACCUMULATION IN ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
4. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDDED AND/OR SODED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
5. SEE STORM WATER POLLUTION PREVENTION PLAN FOR HOUSEKEEPING CONTROLS.
6. CONTRACTOR SHALL SET ASIDE AN AREA NEAR THE CONSTRUCTION ENTRANCE FOR ALL CONCRETE WASH DOWN OPERATIONS. THE CONTRACTOR SHALL INSTALL AN EARTHEN BERM AROUND THE WASH DOWN AREA TO INSURE NO WATER IS ALLOWED TO LEAVE THE AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS AREA FOR THE ENTIRE LENGTH OF THE PROJECT.
7. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF OXFORD'S LANDSCAPE ORDINANCE BY INSTALLING AND MAINTAINING THE REQUIRED TREE PROTECTION FENCE.
8. EXISTING VEGETATION ALONG PROPERTY LINES WILL BE RETAINED WHERE ALLOWABLE.
9. NO MUD, SILT OR SEDIMENT IS ALLOWED TO GATHER ON PUBLIC ROADS. THE CONTRACTOR SHALL IMMEDIATELY TAKE ACTION TO REMOVE MATERIAL.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING DUST TO A MINIMUM AT ALL TIMES.
11. ALL INLET SHALL RECEIVE INLET PROTECTION AT ALL TIMES DURING CONSTRUCTION.
12. CONCRETE WASH OUT AREA, MATERIAL STORAGE AREA AND EMERGENCY MAINTENANCE AREA TO BE LOCATED NEAR JOB TRAILER. JOB TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR.
13. CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES ON EXISTING ESTABLISHED SLOPES.
14. SILT FENCE SHALL BE INSTALLED FOR EROSION CONTROL PURPOSES AND AS A CONSTRUCTION BARRIER.
15. IT IS ULTIMATELY THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SEDIMENT DOES NOT LEAVE THE SITE OR ENTER ADJACENT WATERSHEDS AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE ADDITIONAL BEST MANAGEMENT PRACTICES AND SHALL BE ADDED AT THE CONTRACTOR'S EXPENSE.

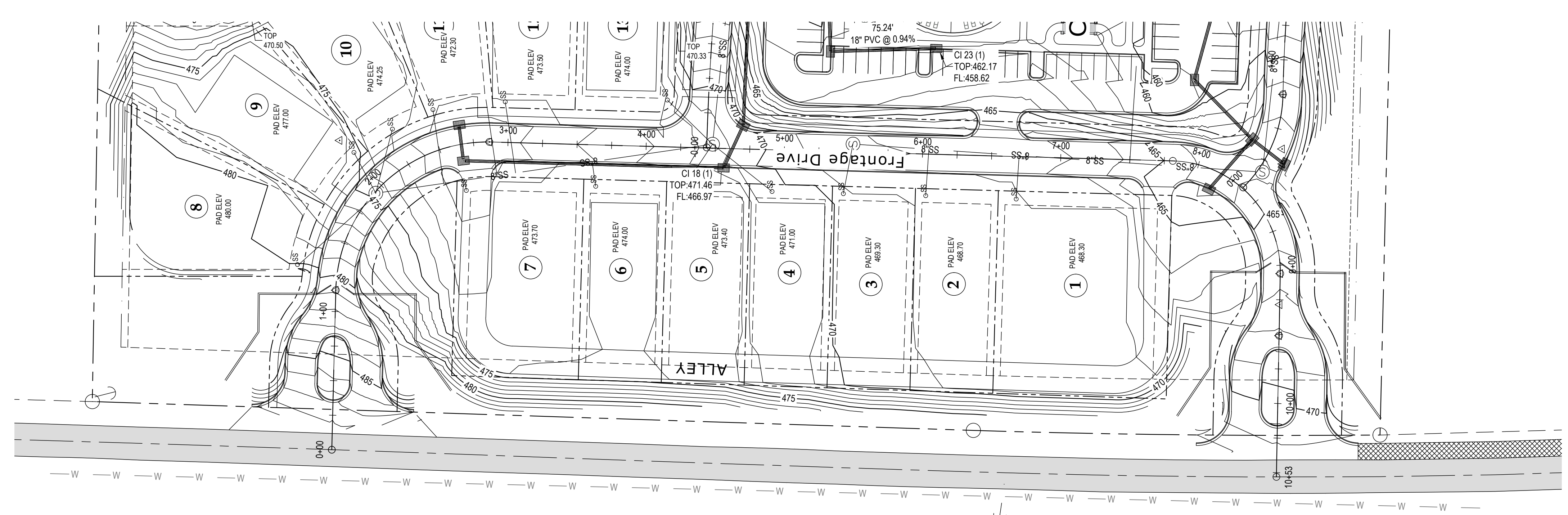
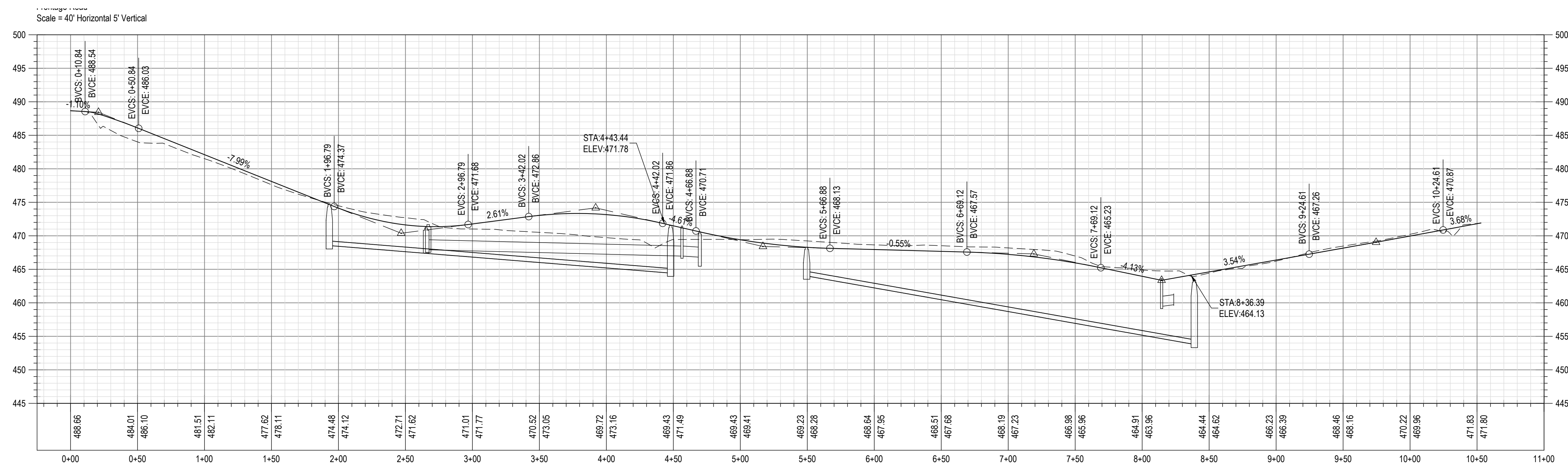
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Erosion Control Plan

Sheet No.:

C 8.2



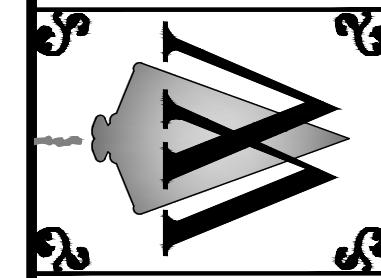
Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

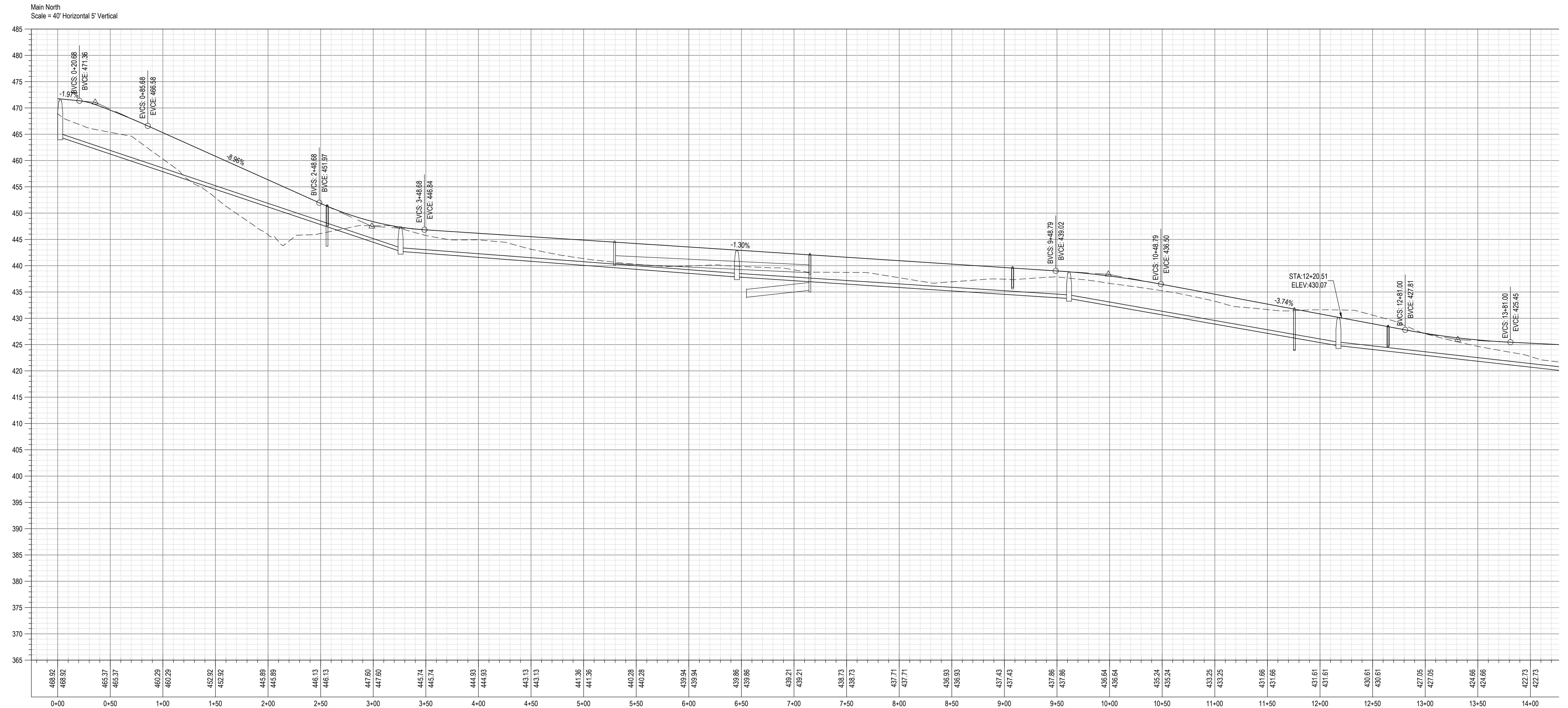
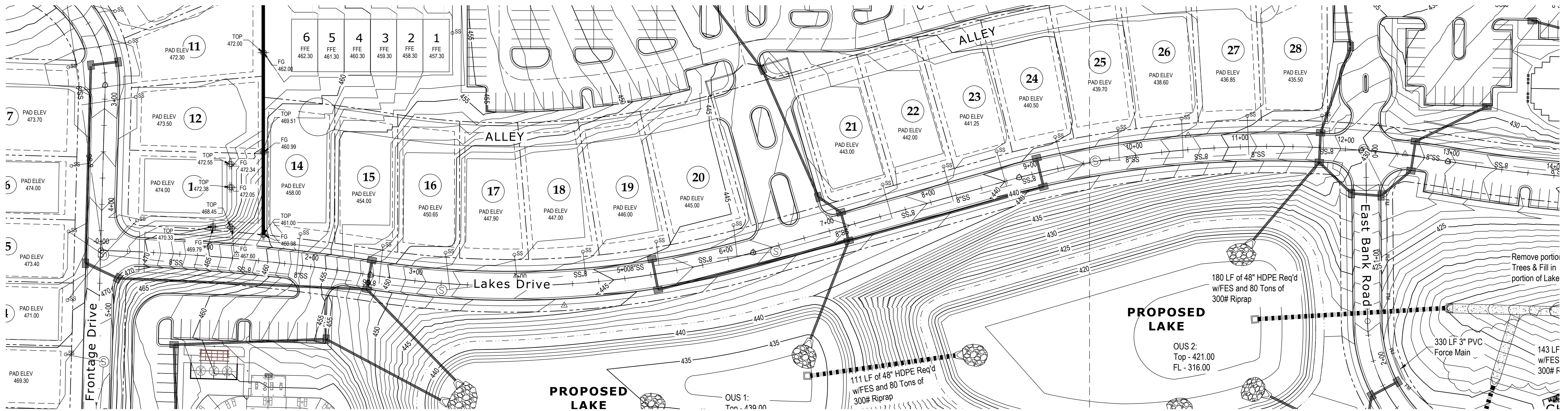
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Plan &
Profile

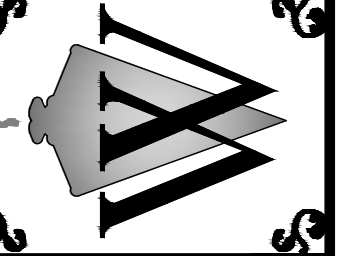
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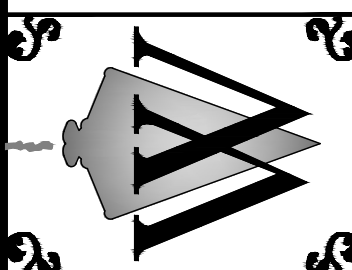
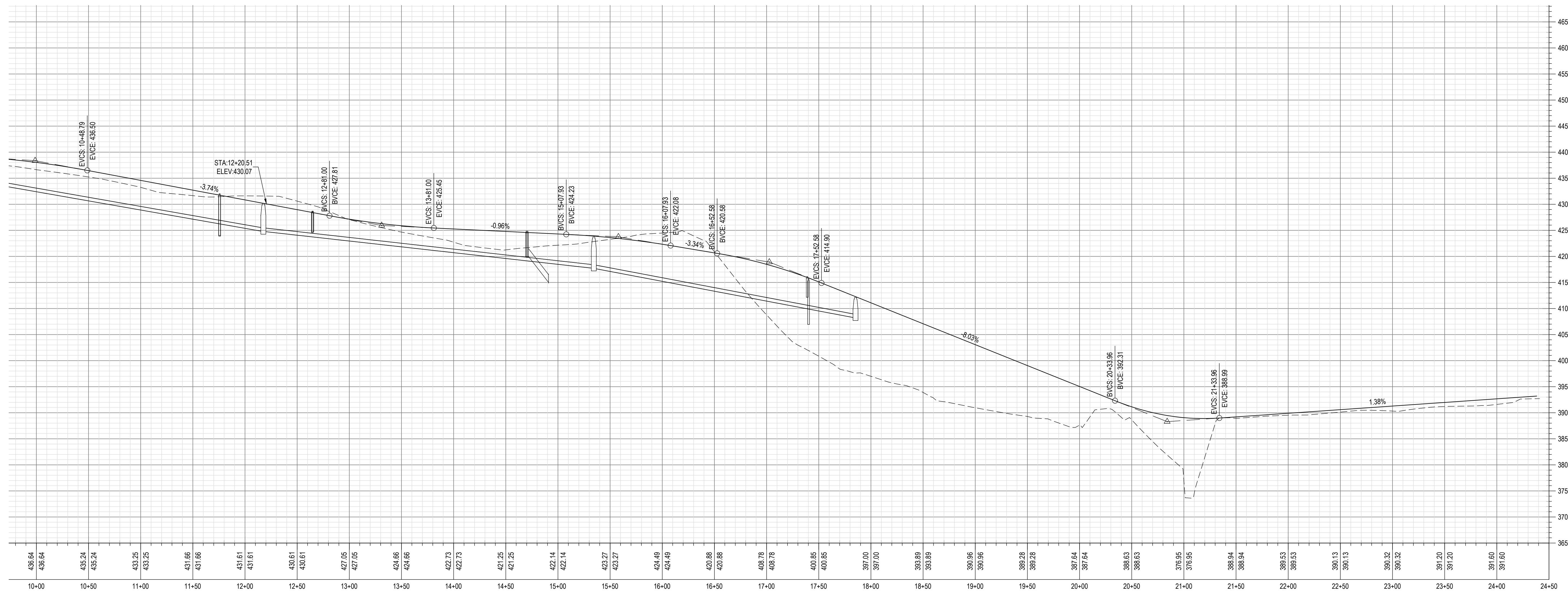
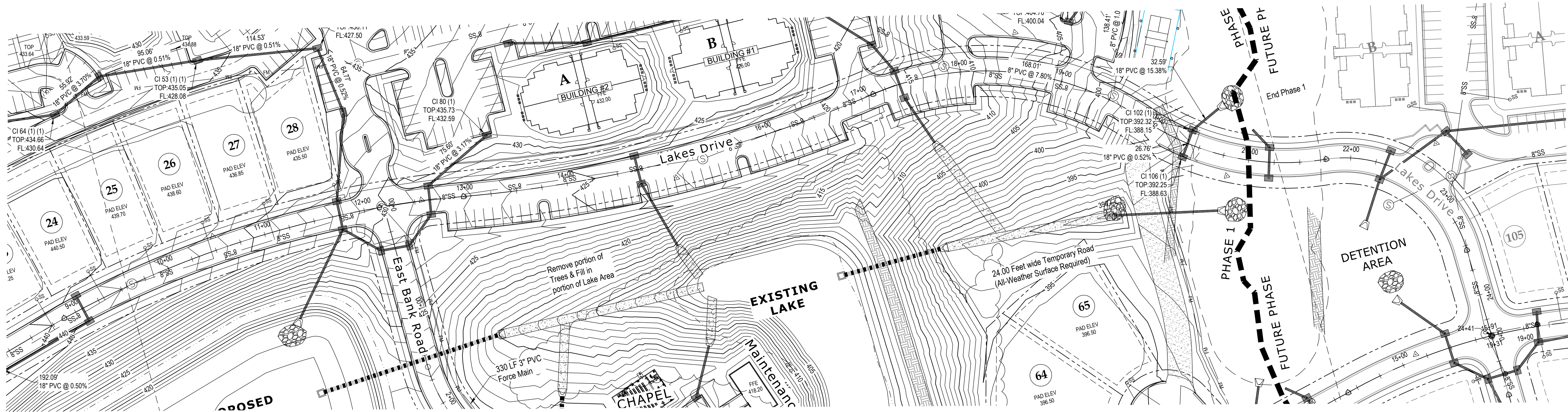
Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

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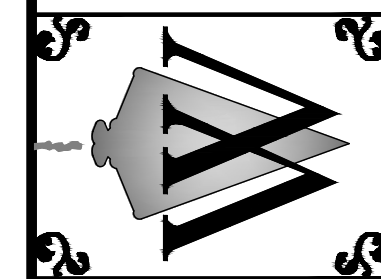
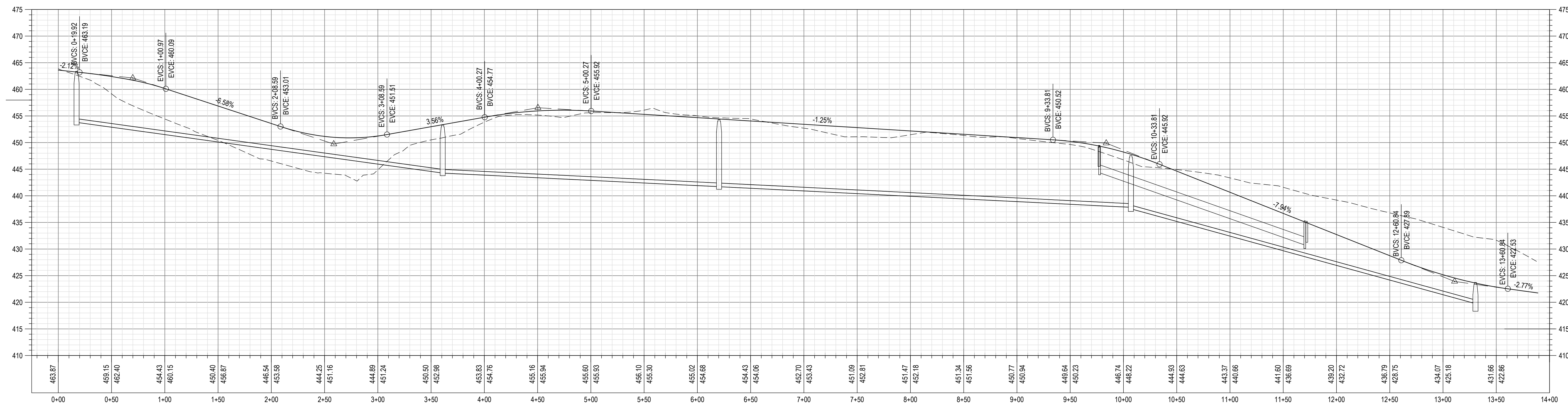
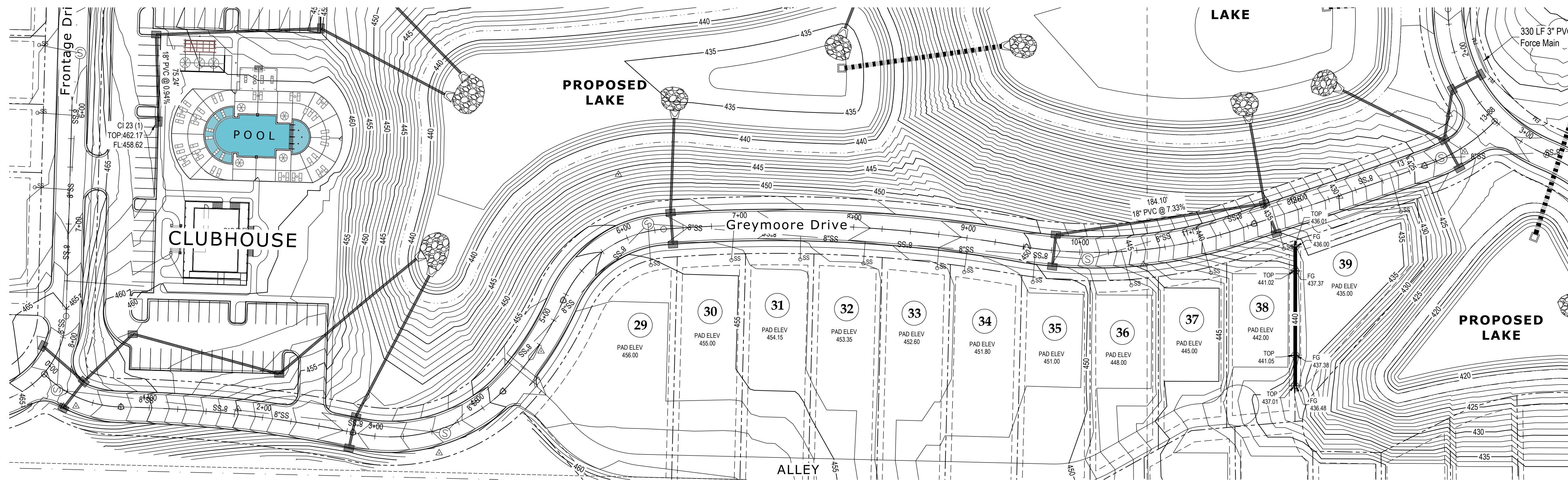
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Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

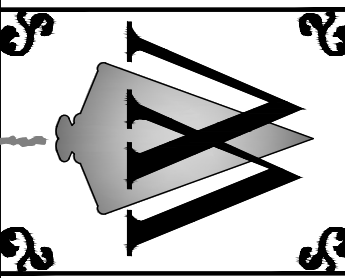
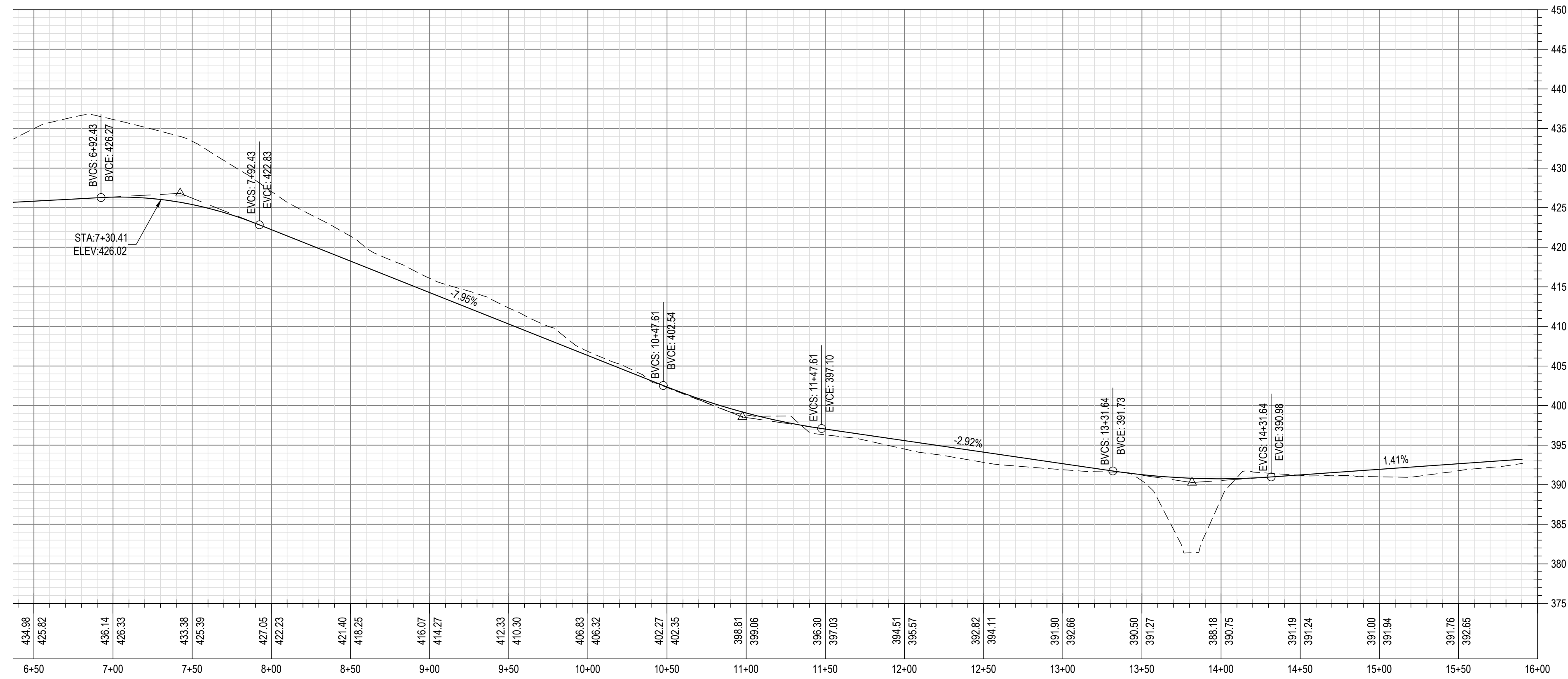
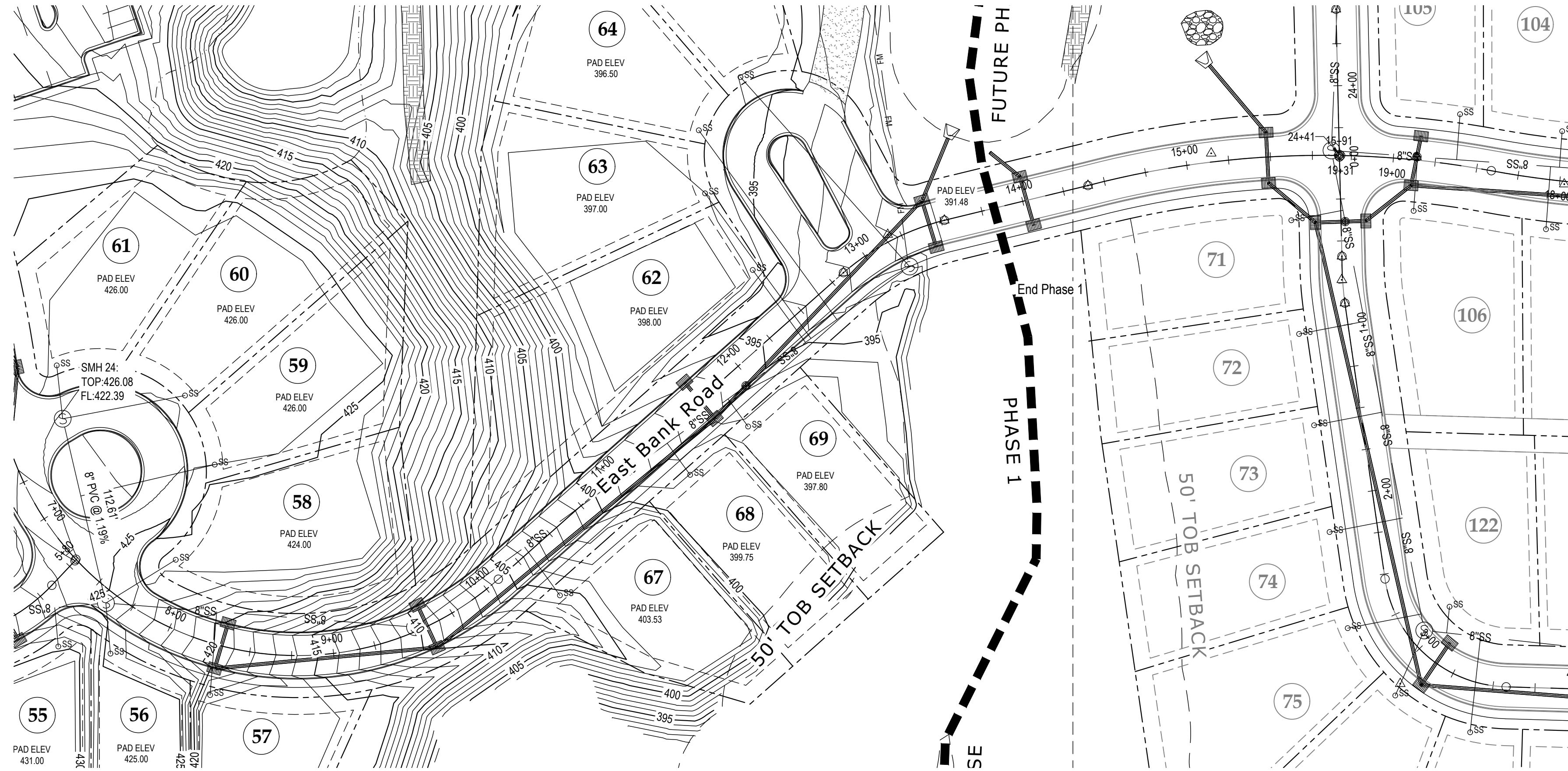
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Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

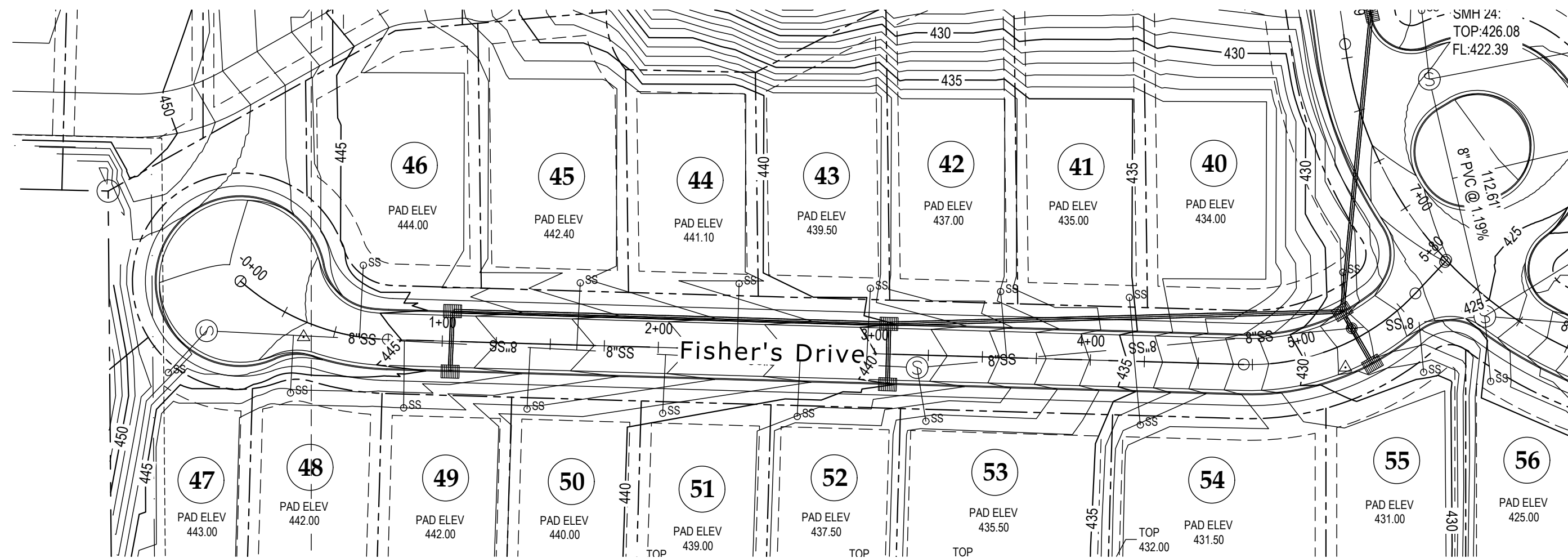
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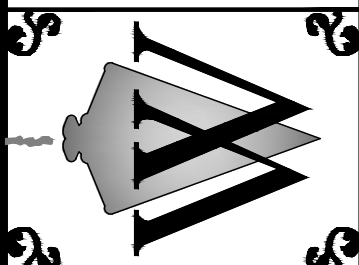
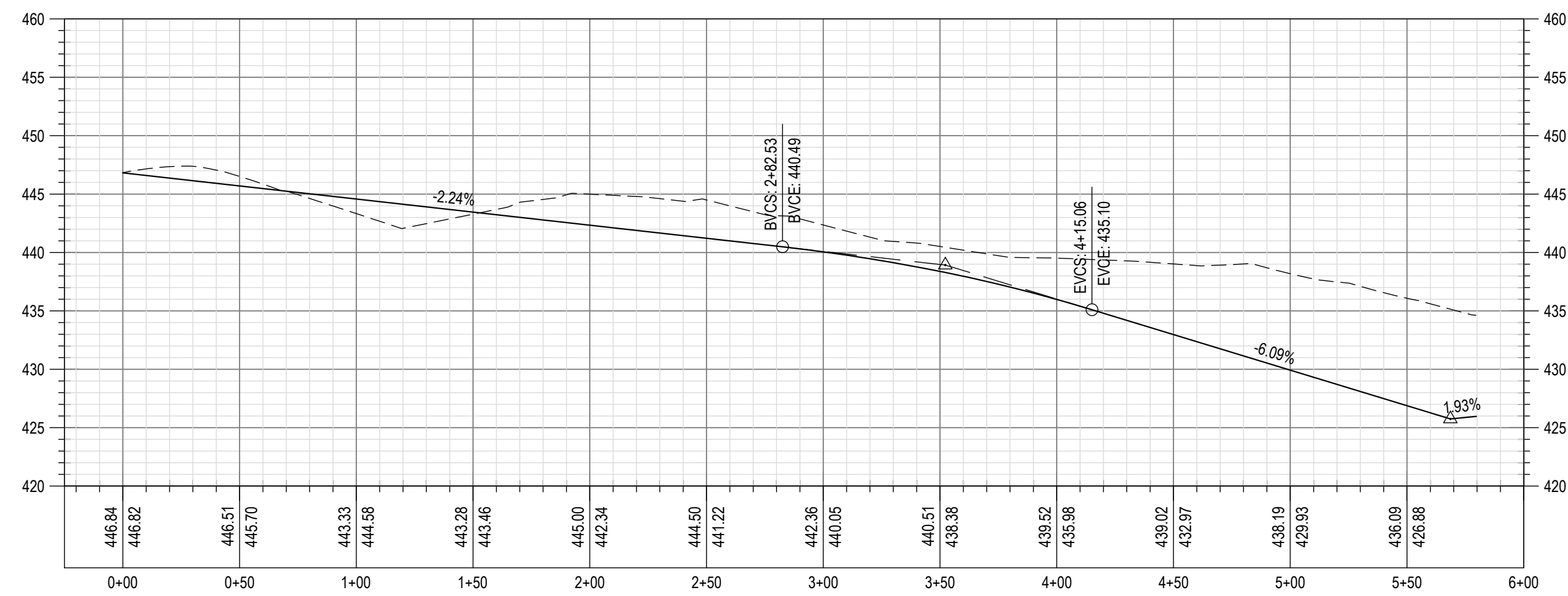
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South Side Road
Scale = 40' Horizontal 5' Vertical



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Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

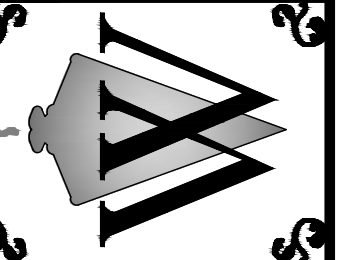
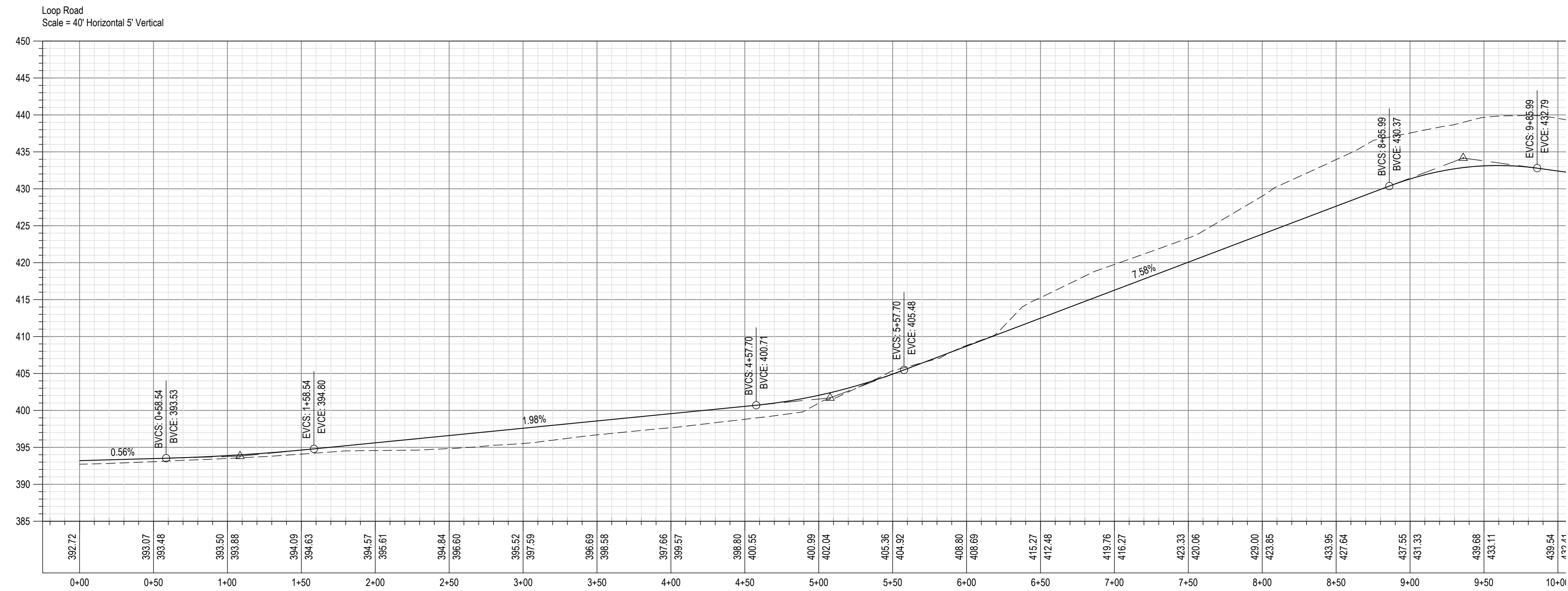
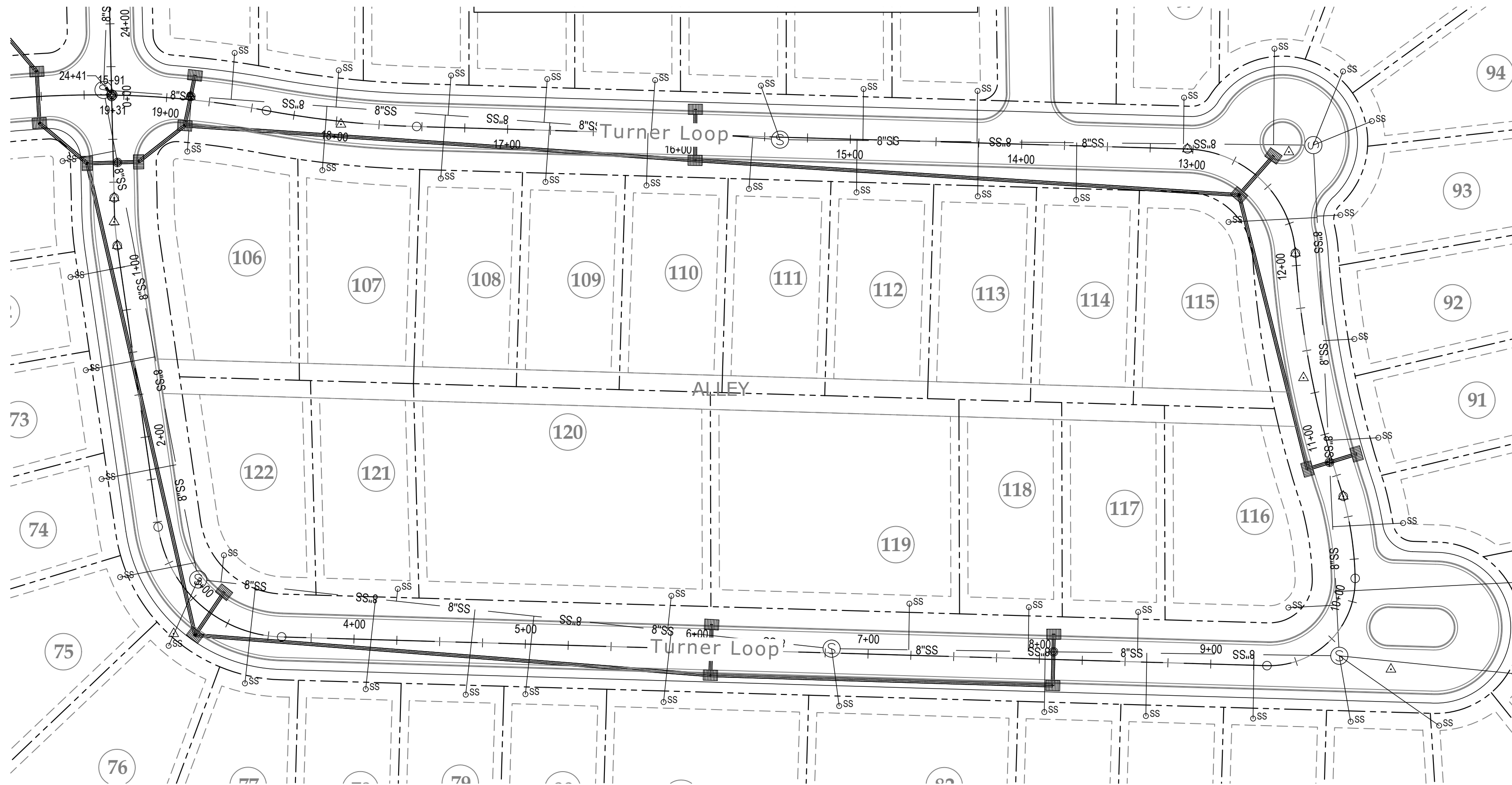
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Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

Scale: 1" = 50'

Date: 04/01/2026

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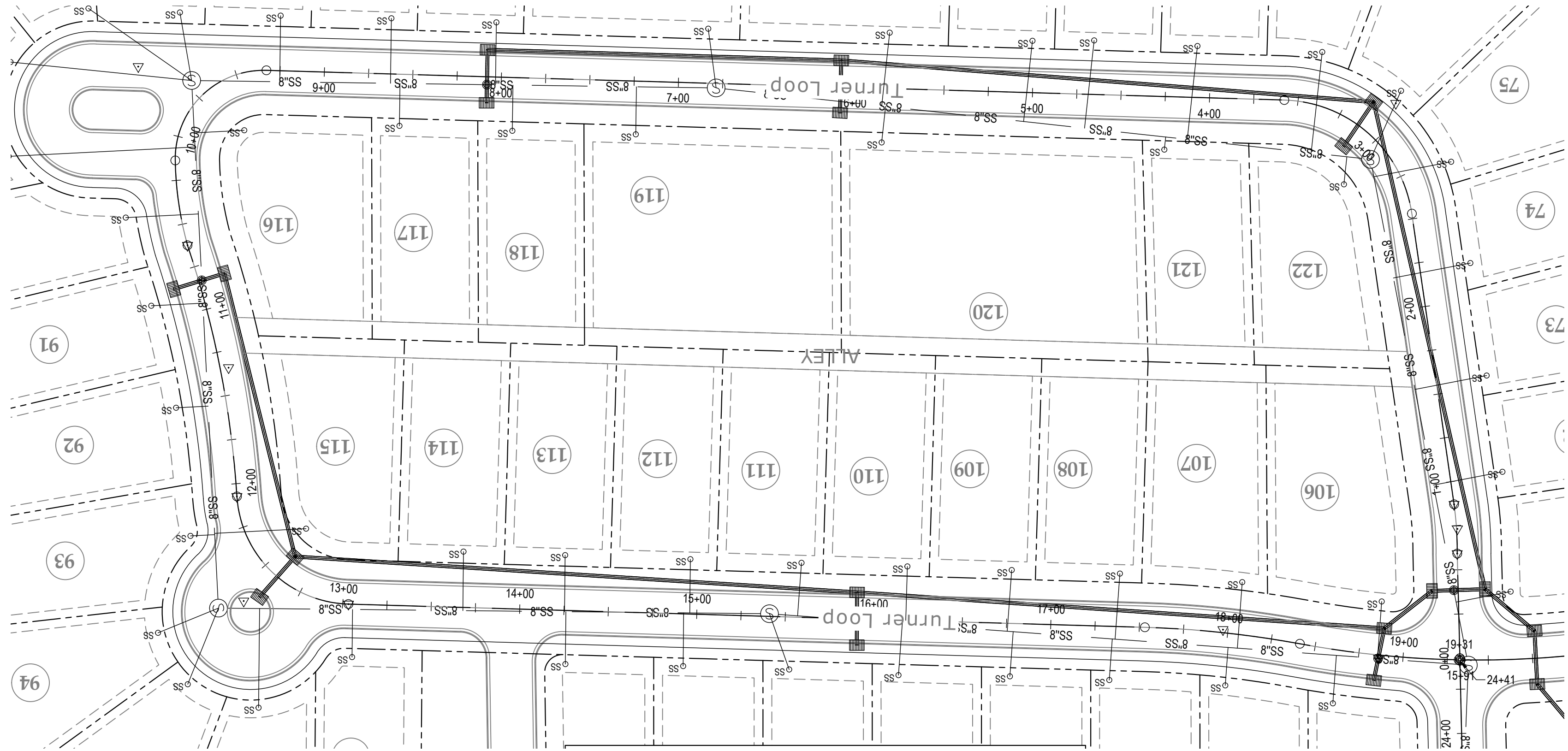
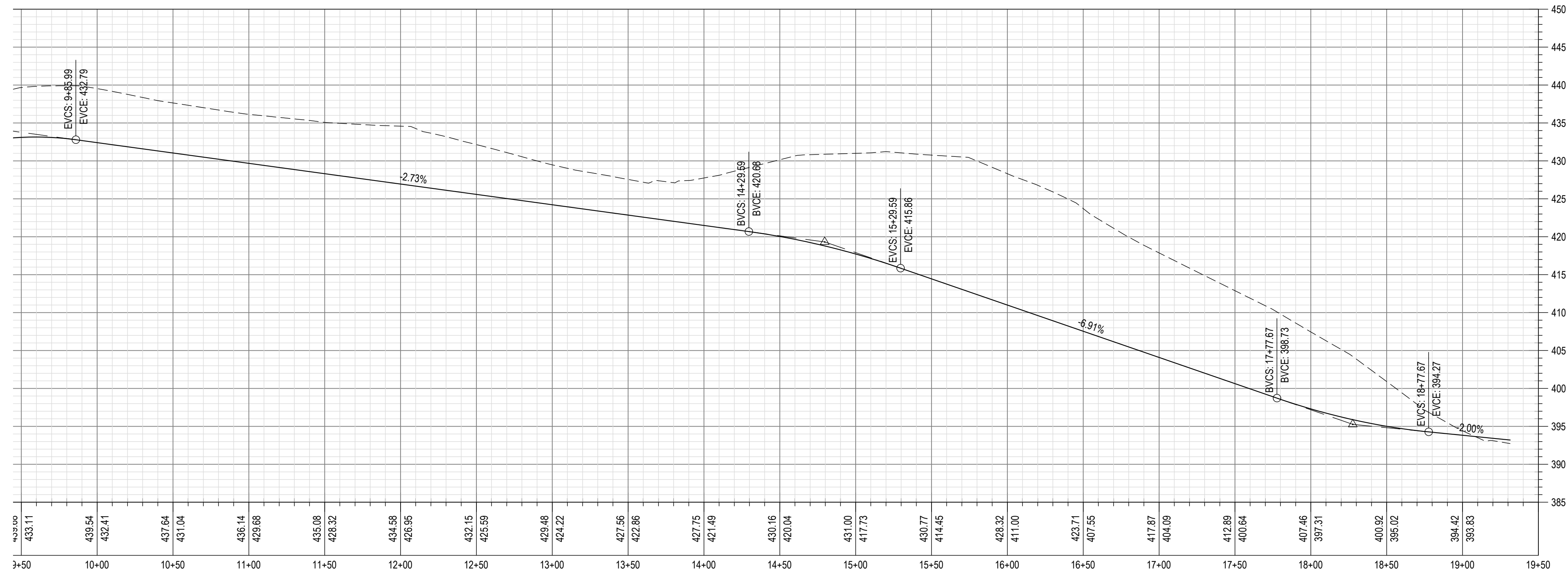
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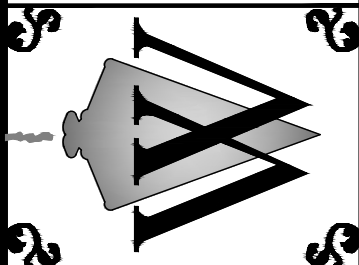
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Sheet Title:

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Profile

Sheet No.:
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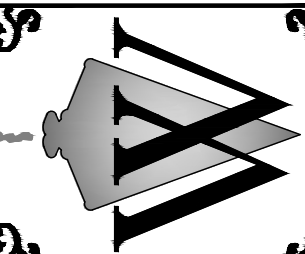
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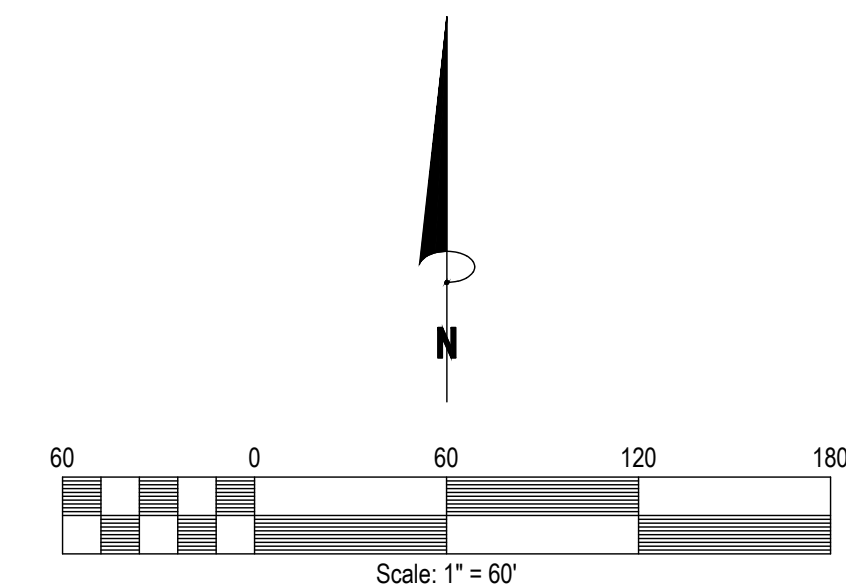
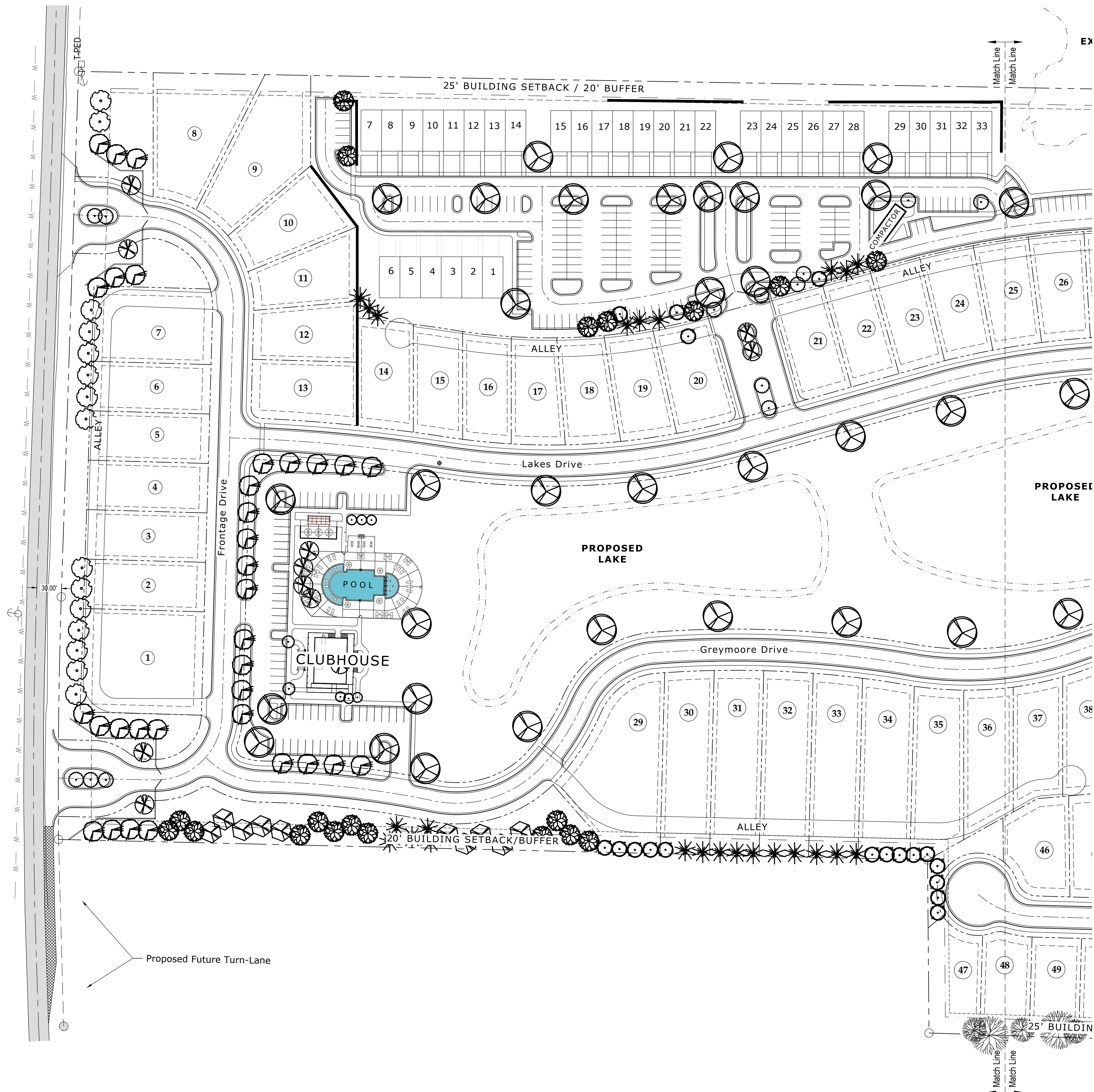
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| --- | RIGHT OF WAY LINES | ✕ | SECTION CORNER |
| --- | PROPERTY LINES | ○ | PROPERTY CORNERS |
| --- | SECTION TIE | ⊙ | MONUMENTS FOUND |
| --- | CENTERLINE ROAD | ⊙ | BENCHMARKS |
| --- | APPARENT ADJOINING PROPERTY LINE | ⊙ | UTILITY POLES |
| --- | UTILITY EASEMENT LINES | ⊙ | GUY WIRE |
| --- | OHL | ⊙ | TELEPHONE PEDESTAL |
| --- | OVERHEAD LINES | ⊙ | ELECTRIC METERS |
| --- | BARBED WIRE FENCE LINES | ⊙ | GAS METERS |
| --- | TREE LINES | ⊙ | WATER METERS |
| --- | BUILDING AREAS | ⊙ | AIR CONDITIONING UNIT |
| --- | COVERED AREAS | ⊙ | CLEANOUT |
| --- | CONCRETE AREAS | ⊙ | CMP |
| --- | ASPHALT AREAS | ⊙ | CORRUGATED METAL PIPE |
| --- | GRAVEL AREAS | ⊙ | HDPE |
| --- | WATER AREAS | ⊙ | HIGH DENSITY POLYETHYLENE |
| --- | LEVEE AREAS | ⊙ | POB |
| --- | RIP RAP | ⊙ | POINT OF BEGINNING |
| --- | PLAT CALLS | ⊙ | POC |
| | | ⊙ | POINT OF COMMENCEMENT |
| | | ⊙ | DEED CALLS |
| | | ⊙ | MEASURED CALLS |

PLANT LIST		
MIXTURE OF NATIVE OAKS	SIZE (in)	QTY
INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SCARLET OAK, SHUMARD OAK, SOUTHERN RED OAK, WHITE OAK	TBD	TBD



REVISION	DATE

Scale:	1" = 60'
Date:	04/01/2026
File:	SB-244076 (Steve Bryan CR 101)04 signSteve Bryan CR 101 Design.dwg
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LEGEND

RIGHT OF WAY LINES	SECTION CORNER
PROPERTY LINES	PROPERTY CORNERS
SECTION TIE	MONUMENTS FOUND
CENTERLINE ROAD	BENCHMARKS
APPARENT ADJOINING PROPERTY LINE	UTILITY POLES
UTILITY EASEMENT LINES	GUY WIRE
OVERHEAD LINES	TELEPHONE PEDESTAL
BARBED WIRE FENCE LINES	ELECTRIC METERS
TREE LINES	GAS METERS
BUILDING AREAS	WATER METERS
COVERED AREAS	AIR CONDITIONING UNIT
CONCRETE AREAS	CLEANOUT
ASPHALT AREAS	CMP CORRUGATED METAL PIPE
GRAVEL AREAS	HDPE HIGH DENSITY POLYETHYLENE
WATER AREAS	POB POINT OF BEGINNING
LEEVE AREAS	POC POINT OF COMMENCEMENT
RIP RAP	DEED CALLS
PLAT CALLS	MEASURED CALLS

(All symbols in legend may not be used on current survey.)

PLANT LIST

MIXTURE OF NATIVE OAKS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SCARLET OAK, SHUMARD OAK, SOUTHERN RED OAK, WHITE OAK	SIZE (in)	QTY
	TBD	TBD

Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

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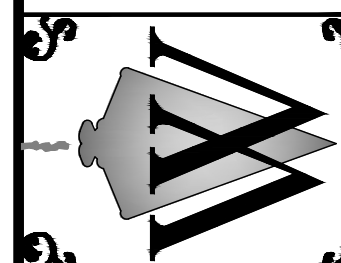
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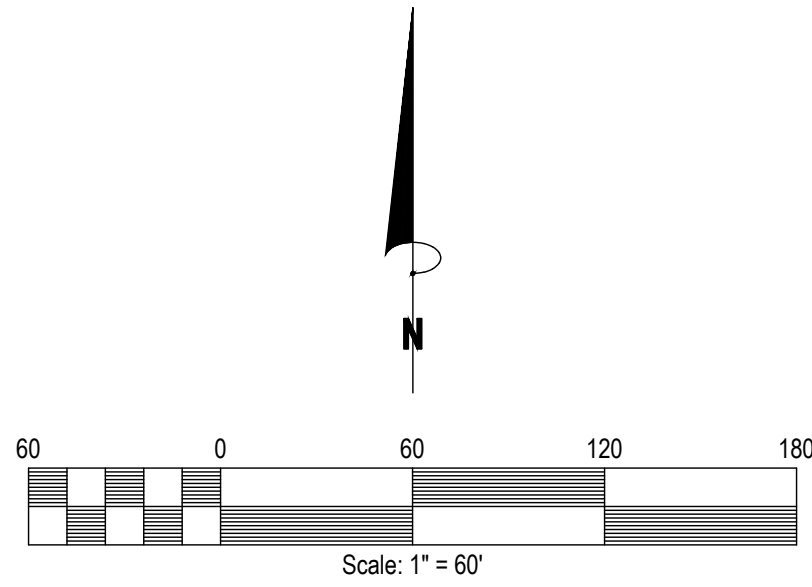
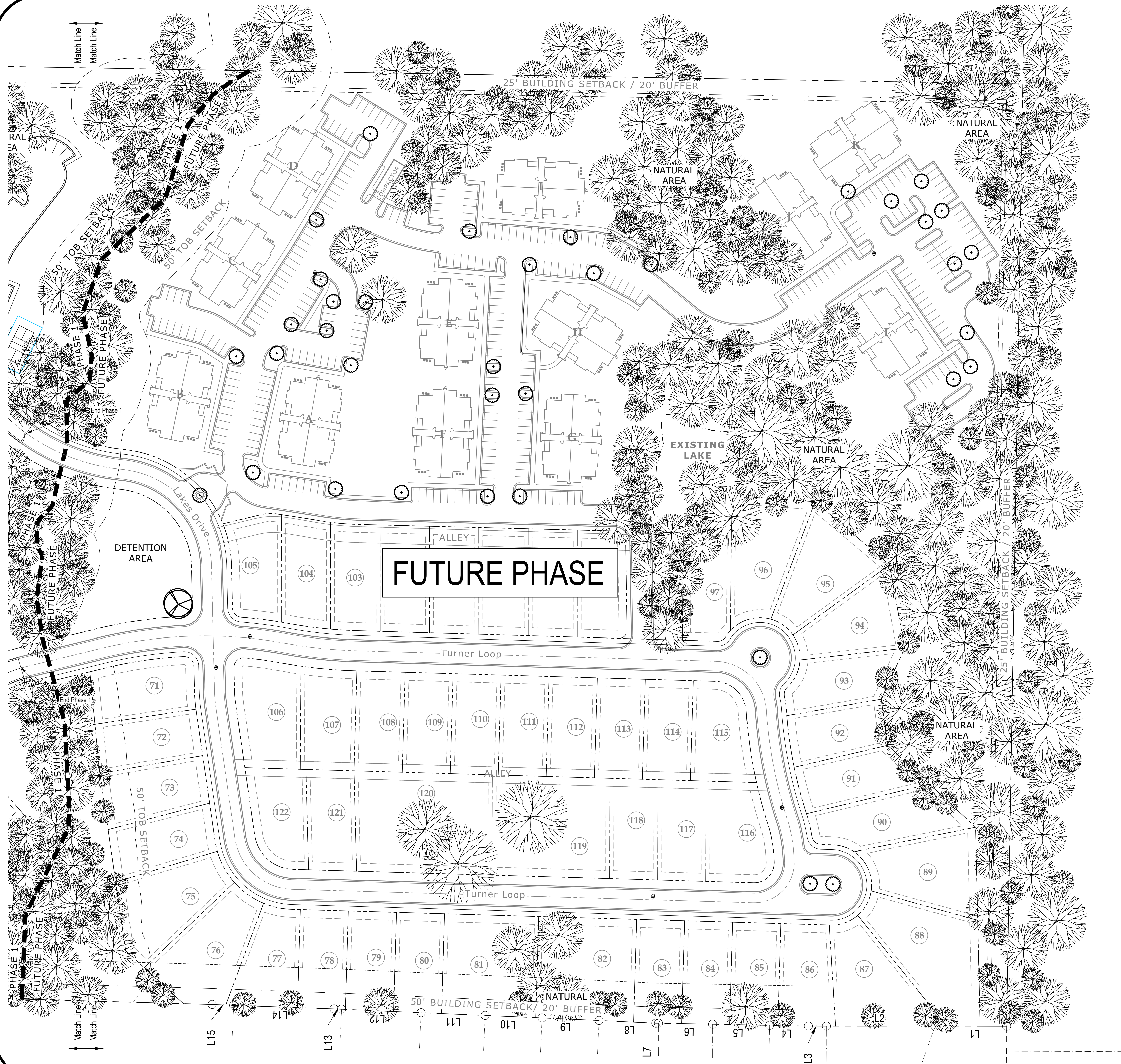
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Plan

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LEGEND

- | | |
|----------------------------------|--------------------------------|
| RIGHT OF WAY LINES | SECTION CORNER |
| PROPERTY LINES | PROPERTY CORNERS |
| SECTION TIE | MONUMENTS FOUND |
| CENTERLINE ROAD | BENCHMARKS |
| APPARENT ADJOINING PROPERTY LINE | UTILITY POLES |
| UTILITY EASEMENT LINES | GUY WIRE |
| OVERHEAD LINES | TELEPHONE PEDESTAL |
| BARBED WIRE FENCE LINES | ELECTRIC METERS |
| TREE LINES | GAS METERS |
| BUILDING AREAS | WATER METERS |
| COVERED AREAS | AIR CONDITIONING UNIT |
| CONCRETE AREAS | CLEANOUT |
| ASPHALT AREAS | CMP CORRUGATED METAL PIPE |
| GRAVEL AREAS | HDPE HIGH DENSITY POLYETHYLENE |
| WATER AREAS | POB POINT OF BEGINNING |
| LEVEE AREAS | POC POINT OF COMMENCEMENT |
| RIP RAP | DEED CALLS |
| PLAT CALLS | MEASURED CALLS |

(All symbols in legend may not be used on current survey.)

PLANT LIST

MIXTURE OF NATIVE OAKS	SIZE (in)	QTY
INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SCARLET OAK, SHUMARD OAK, SOUTHERN RED OAK, WHITE OAK	TBD	TBD

Construction Plans For:
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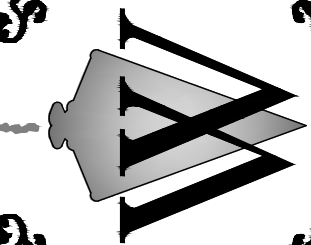
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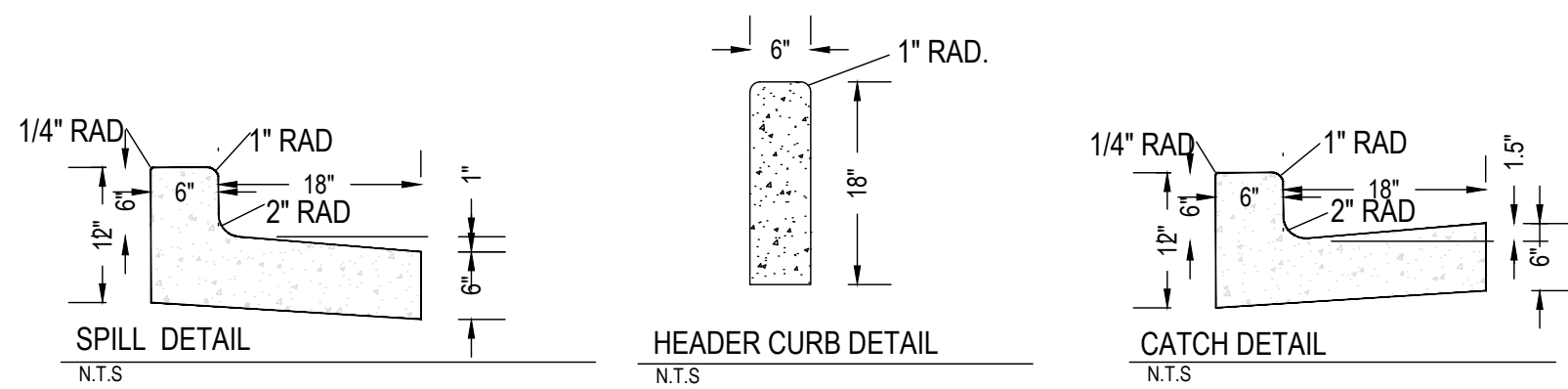
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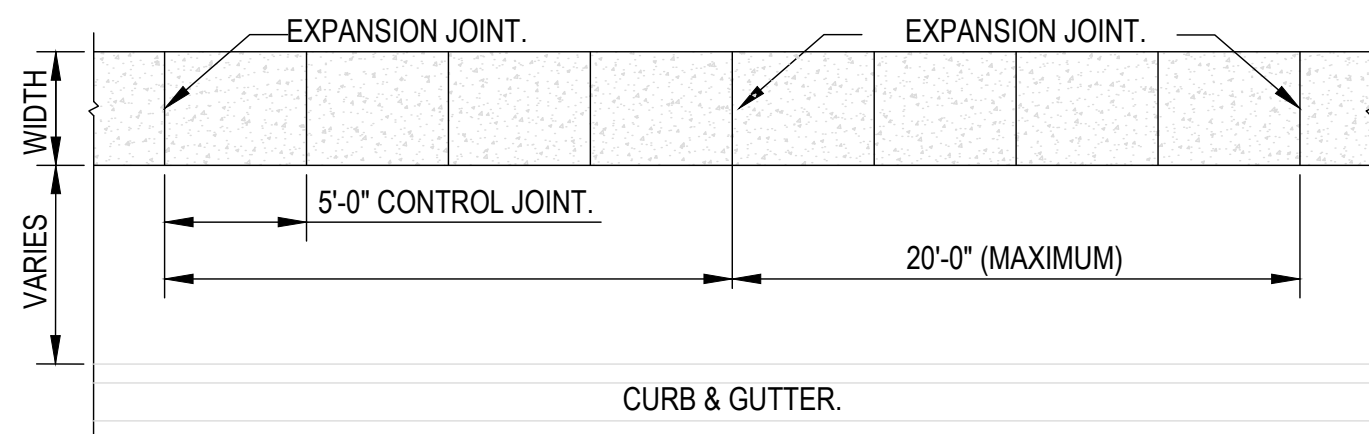
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Professional Engineers | Professional Land Surveyors
720 NORTH LAMAR BOULEVARD, SUITE A
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655
662.226.9675





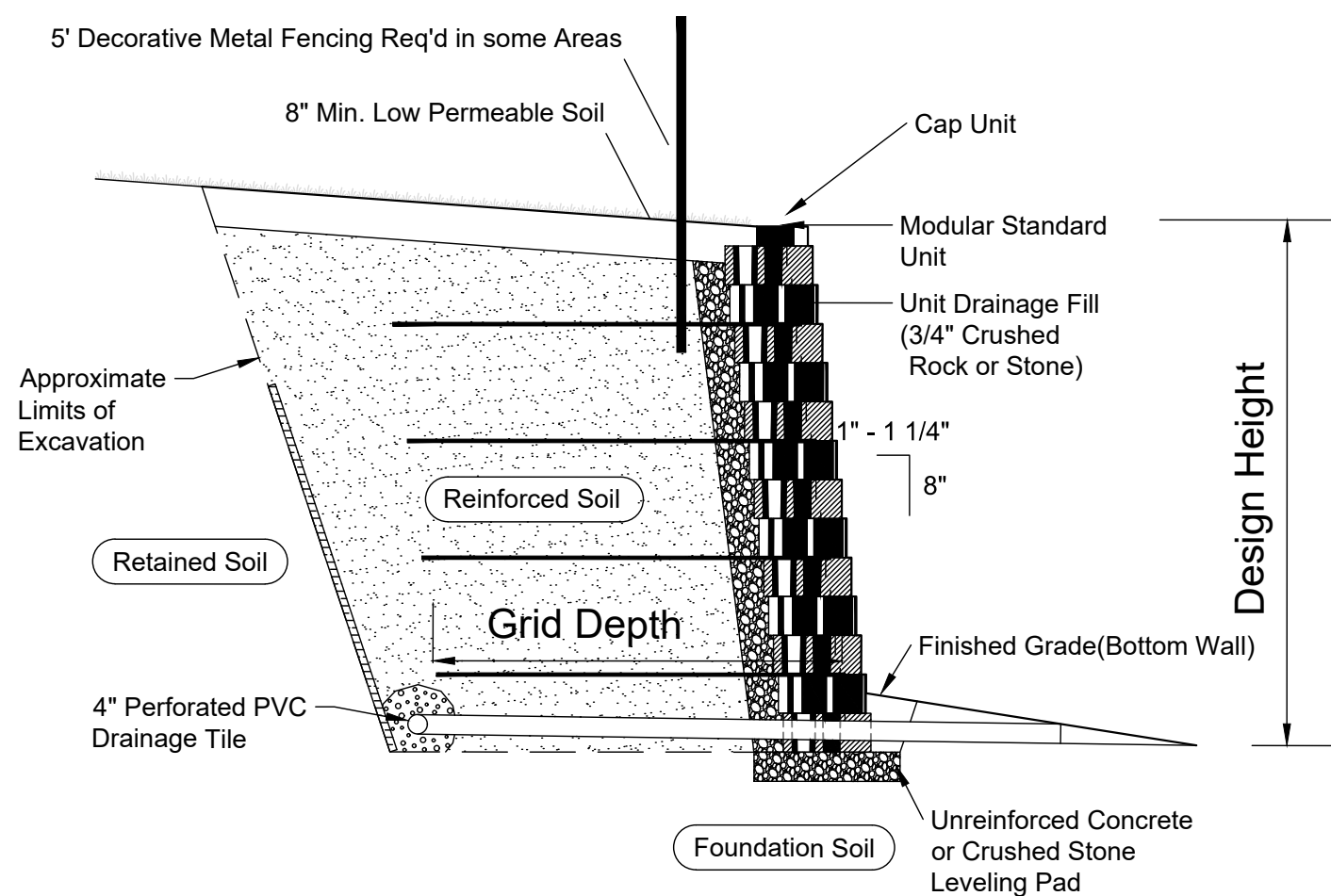
NOTE:
-CONTROL JOINTS REQUIRED AT 10' O.C.
-EXPANSION JOINTS REQUIRED AT 30' O.C.
(MAX) AND AT ALL RADIUS RETURNS
UNLESS DIRECTED OTHERWISE BY THE
ENGINEER. 1/2" PREMOLEDDED JOINT FILLER
REQUIRED AT ALL EXPANSION JOINTS

TYPICAL CURB AND GUTTER DETAIL



Proposed Sidewalk to be field located to avoid conflict with existing
utilities. Coordinate final location with City Public Works Dept.

TYPICAL SIDEWALK JOINT DETAIL

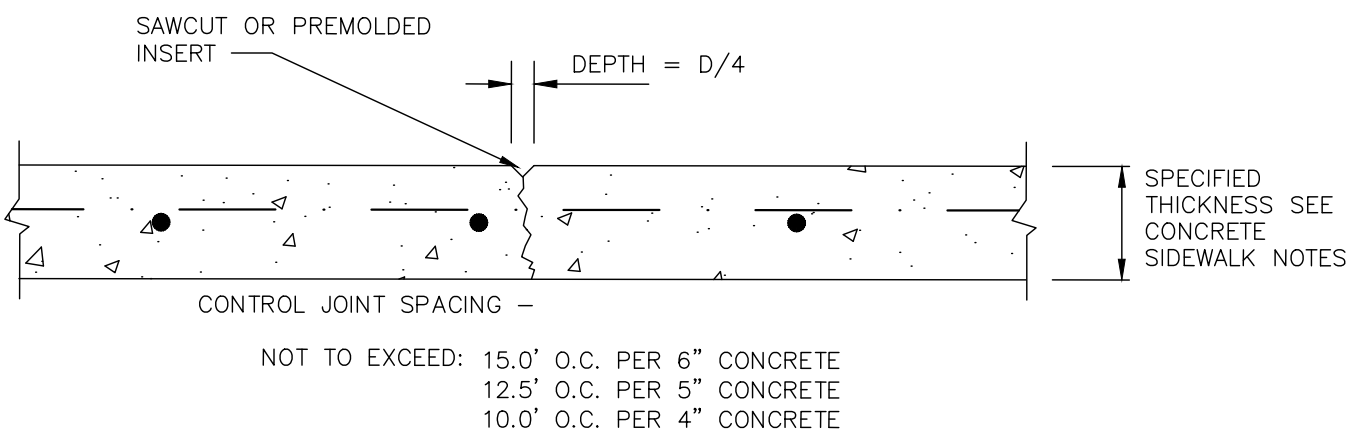
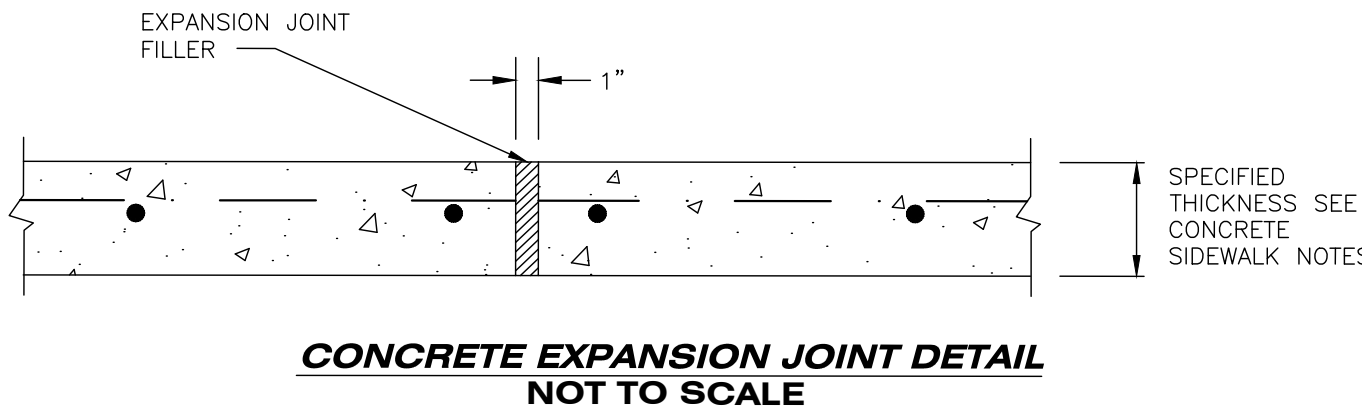
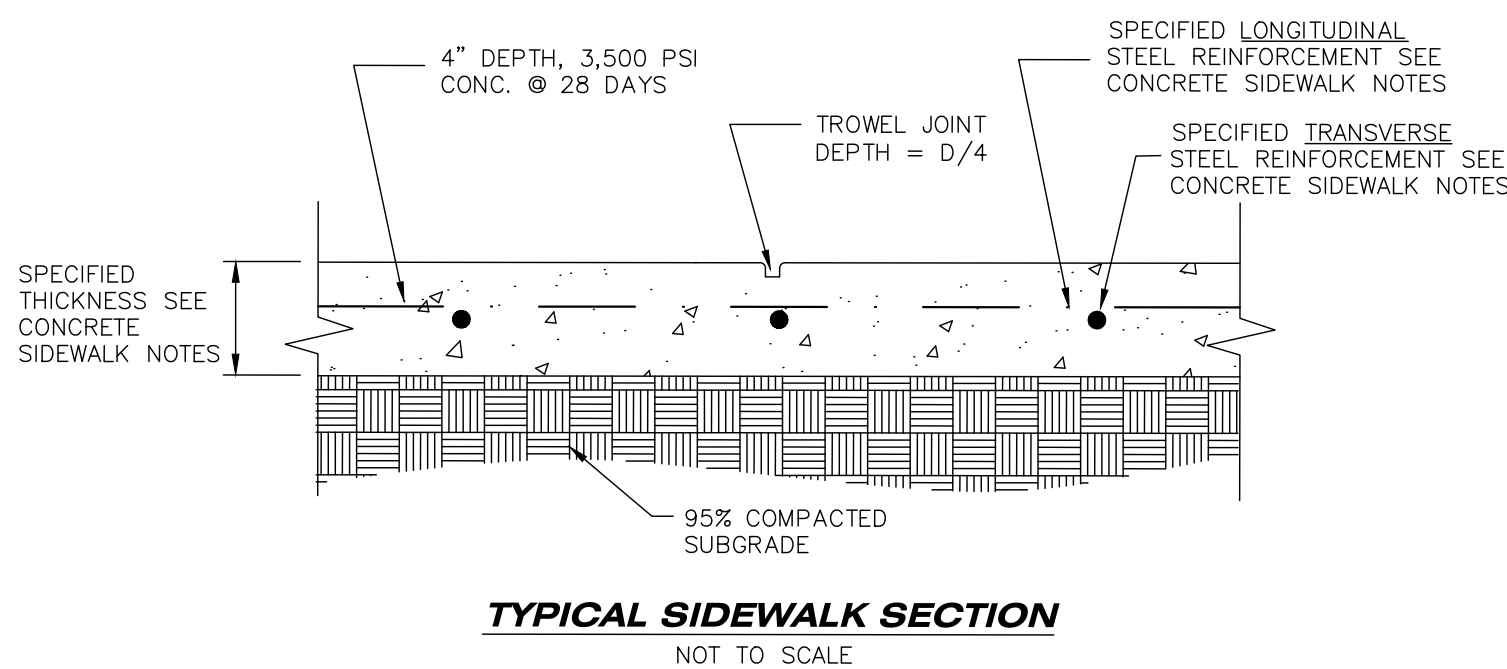
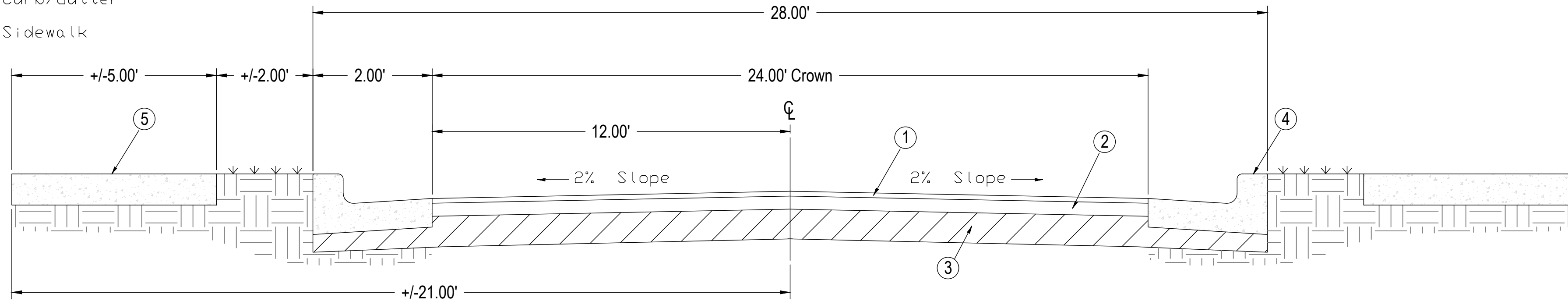


Note:
When site conditions require, wrap drainage
tile in 3/4" aggregate and filter fabric with
drainage composite or aggregate back drain
system, as directed by geotechnical engineer.

TYPICAL REINFORCED MSE WALL SECTION DETAIL

- THIS IS **NOT** A RETAINING WALL DESIGN. SITE SPECIFIC DESIGNS SHALL BE PROVIDED BY A MISSISSIPPI LICENSED ENGINEER AND BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO WALL CONSTRUCTION.
- COLOR MUST BE EARTH TONE AND SUBMITTED TO OWNER PRIOR TO CONSTRUCTION FOR APPROVAL.

- ① Surface
- ② Base
- ③ Subbase
- ④ Typical Curb/Gutter
- ⑤ Typical Sidewalk



CONCRETE CONTROL JOINT - UNDOWELED NOT TO SCALE

FLEXIBLE PAVEMENT(S) (LIGHT-DUTY)

SUBGRADE: 8" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.

3 - SUBBASE: 6" MINIMUM CRUSHED LESTONE MEETING MDOT SPECIFICATIONS FOR SIZE NO. 610 AGGREGATE. COMPACT TO A MINIMUM OF 98% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.

2 - BASE: 2.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19MM OR BB-1 MATERIAL.

1 - SURFACE: 1.5" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT - 9.5 MM OR SC-L MATERIAL.

3 - (CEMENT STABILIZED ALTERNATE)

SUBGRADE: 6" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698. INCORPORATE 6% PORTLAND CEMENT (BY VOLUME) IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS WITHIN UPPER 8" OF SUBGRADE. (APPX 34#/SY)

2 - BASE: 2.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19MM OR BB-1 MATERIAL.

1 - SURFACE: 1.5" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT - 9.5 MM OR SC-L MATERIAL.

(HEAVY-DUTY)

SUBGRADE: 8" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.

3 - SUBBASE: 6" MINIMUM CRUSHED LESTONE MEETING MDOT SPECIFICATIONS FOR SIZE NO. 610 AGGREGATE. COMPACT TO A MINIMUM OF 98% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.

2 - BASE: 4.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19 MM OR BB-1 MATERIAL.

1 - SURFACE: 2.0" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-9.5 MM OR SC-1 MATERIAL.

3 - (CEMENT STABILIZED ALTERNATE)

SUBGRADE: 6" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698. INCORPORATE 6% PORTLAND CEMENT (BY VOLUME) IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS WITHIN UPPER 8" OF SUBGRADE. (APPX 34#/SY)

2 - BASE: 3.5" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19MM OR BB-1 MATERIAL.

1 - SURFACE: 1.5" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT - 9.5 MM OR SC-L MATERIAL.

IN AREAS WITH INVERTED CROWNED ROADWAYS, CONSTRUCTION AND EXPANSION JOINTS SHALL BE LOCATED IN A MANNER AS TO BE CLEAR OF STORM WATER FLOWS.

GENERAL NOTES:

1) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED IN UNDERCUT AREAS AND THE UNDERCUT DEPTH MAY BE ADJUSTED AT CROSS DRAINS, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGES.

2) ALL EXISTING UTILITIES OR OTHER OBSTRUCTIONS, WHICH CONFLICT WITH REQUIRED CONSTRUCTION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE AS AN ABSORBED ITEM.

3) THE EROSION CONTROL DEVICES REFERENCED IN THESE PLANS ARE A MINIMUM REQUIREMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SILT DOES NOT LEAVE THE CONSTRUCTION SITE OR CONTAMINATE WATERS OF THE U.S. DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A LARGE CONSTRUCTION NOTICE OF INTENT PERMIT AS REQUIRED BY THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY AND MAINTAIN THE PLAN DURING CONSTRUCTION.

4) EXISTING UTILITIES ON THE DRAWINGS ARE SHOWN IN THEIR ORIGINAL LOCATION BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CAN NOT AND DOES NOT WARRANT THAT THIS INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR MUST COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS (INCLUDING MISSISSIPPI ONE CALL) TO HAVE UNDERGROUND UTILITY LINES LOCATED IN ADVANCE OF CONSTRUCTION.

5) WORK ON STRUCTURES FOR THIS PROJECT REQUIRES EXCAVATION IN THE IMMEDIATE VICINITY OF ADJACENT PROPERTIES. THEREFORE, THE RISK OF A FAILURE OCCURRING DURING THE EXCAVATION REQUIRES THAT EXTREME CAUTION BE EXERCISED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE WHAT BRACING, SHORING OR GROUND SUPPORT SYSTEM THAT IS DEEMED NECESSARY TO PREVENT A FAILURE. AND PROTECT THE PERSONS WORKING NEAR THE EXCAVATION, THE PUBLIC THAT MAY BE ABOVE THE EXCAVATION OR ANY STRUCTURE ADJACENT TO THE EXCAVATION. ALL COSTS FOR ANY PROTECTIVE MEASURES, INCLUDING THE MATERIALS AND LABOR FOR DESIGNING, DRAWING AND CONSTRUCTING THE FACILITY, SHALL BE INCLUDED IN THE PRICE BID FOR CONTRACT ITEMS.

6) IN ORDER TO HOLD SILT TO A MINIMUM, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, DITCH DECKS, ETC.)

7) ANY AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR (TO INCLUDE GRASSING AND SITE GRADING) AS DIRECTED BY THE ENGINEER, ARCHITECT OR OWNER. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL FOR DISTURBED AREA UNTIL THEY HAVE BEEN GRASSED AND GROWTH ESTABLISHED.

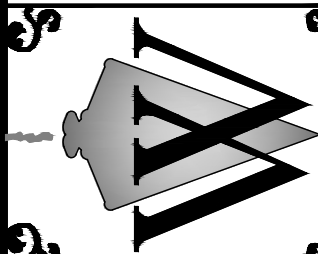
8) THIS PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MUTCD. OTHER SIGNS AND TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING THE VARIOUS PHASES OF CONSTRUCTION. ALL TRAFFIC CONTROL DEVICES ON THIS PROJECT SHALL COMPLY WITH PART VI OF THE M.U.T.C.D. (LATEST EDITION).

9) THE CONTRACTOR IS TO REMOVE AND RESET ANY SIGNS WHICH CONFLICT WITH CONSTRUCTION.

10) THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING GRADES AND MAKING ADJUSTMENTS AS NECESSARY WITH THE APPROVAL OF THE PROJECT ENGINEER BEFORE ORDERING MATERIALS.

11) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUIRE A COPY OF THE GEOTECH REPORT AND FOLLOW ALL RECOMMENDATIONS.

12) ALL MATERIALS USED SHALL MEET THE SPECIFICATIONS AND REQUIREMENTS OF LAFAYETTE COUNTY.



REVISION	DATE

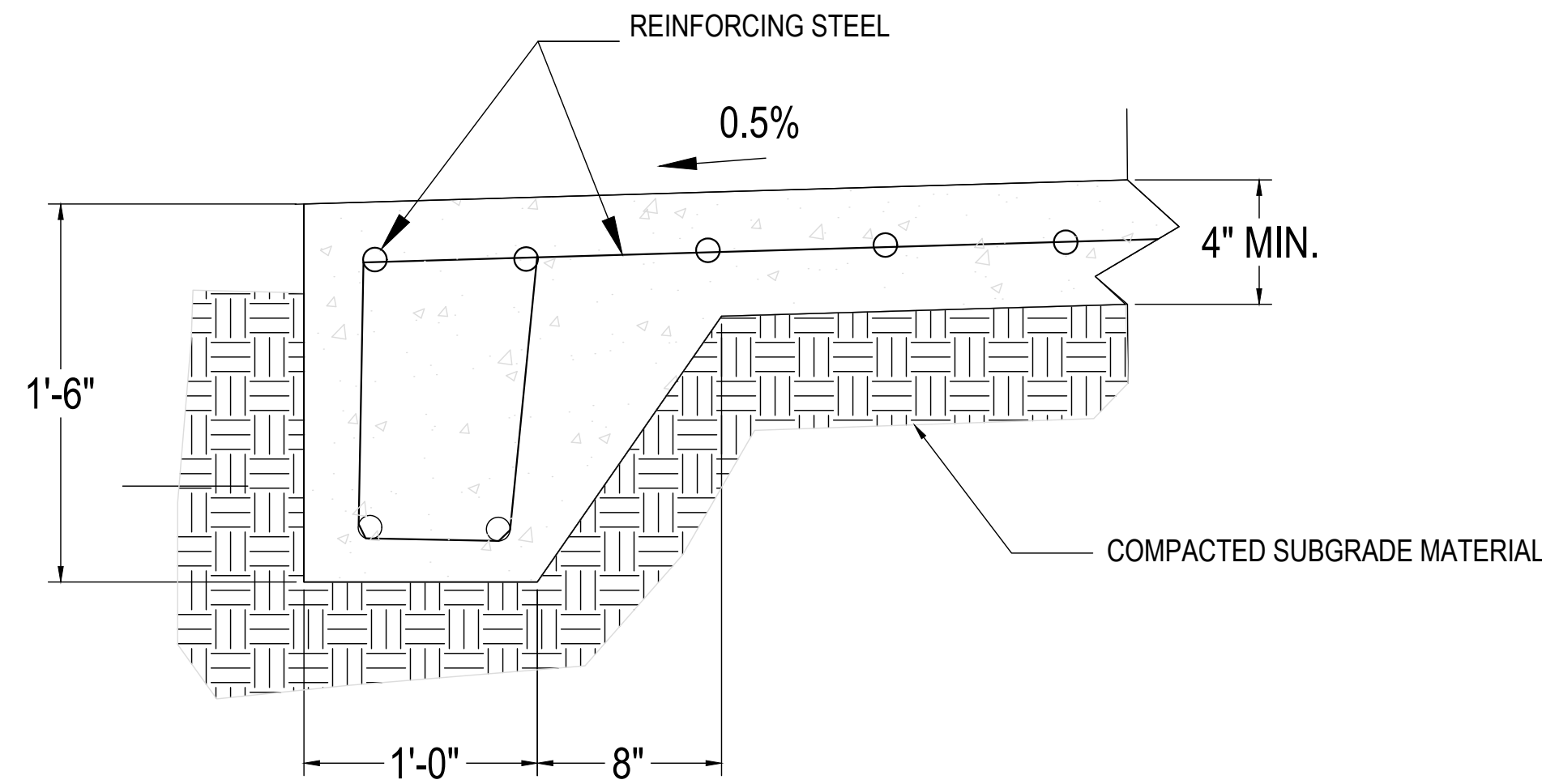
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Checked By:	JWW

Sheet Title:

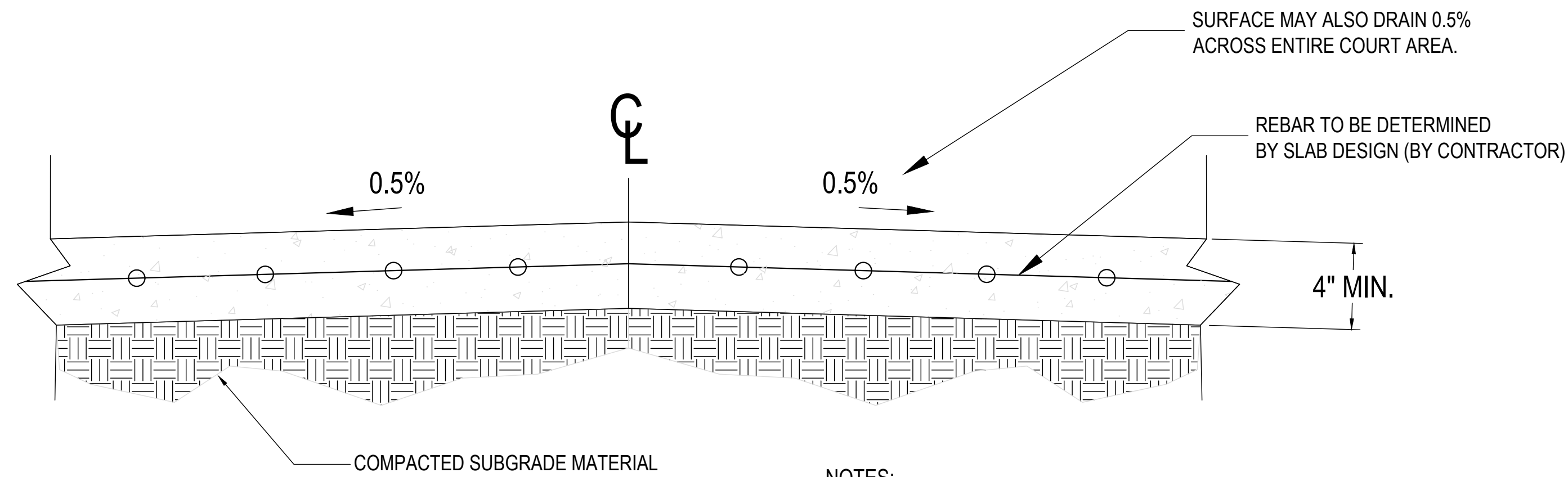
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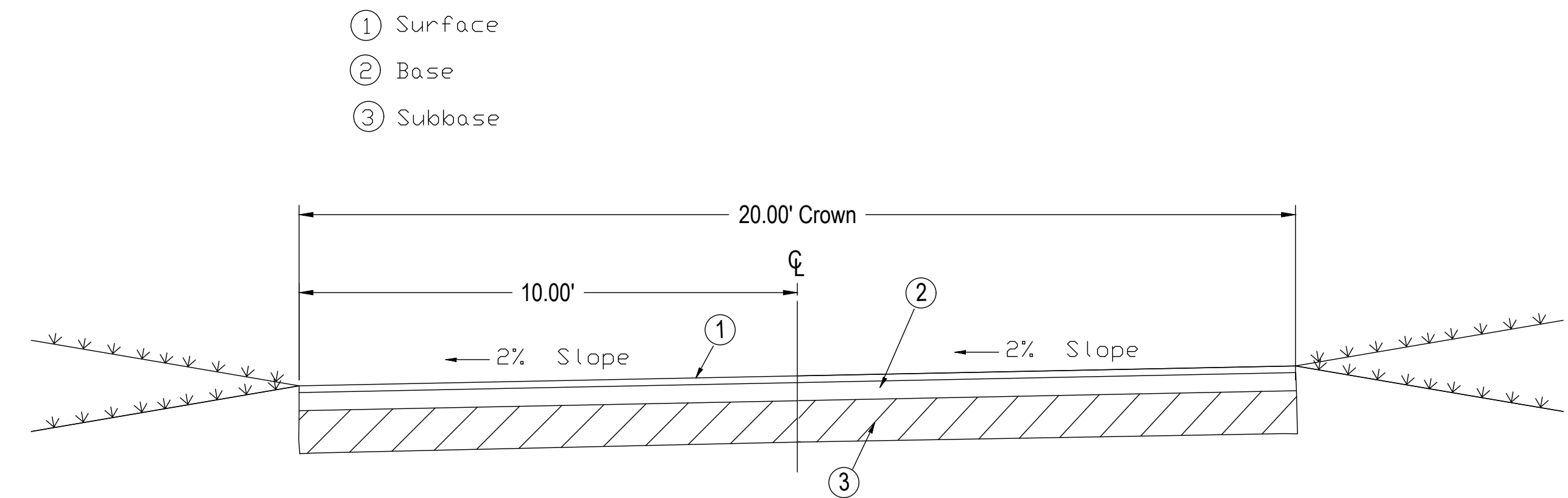
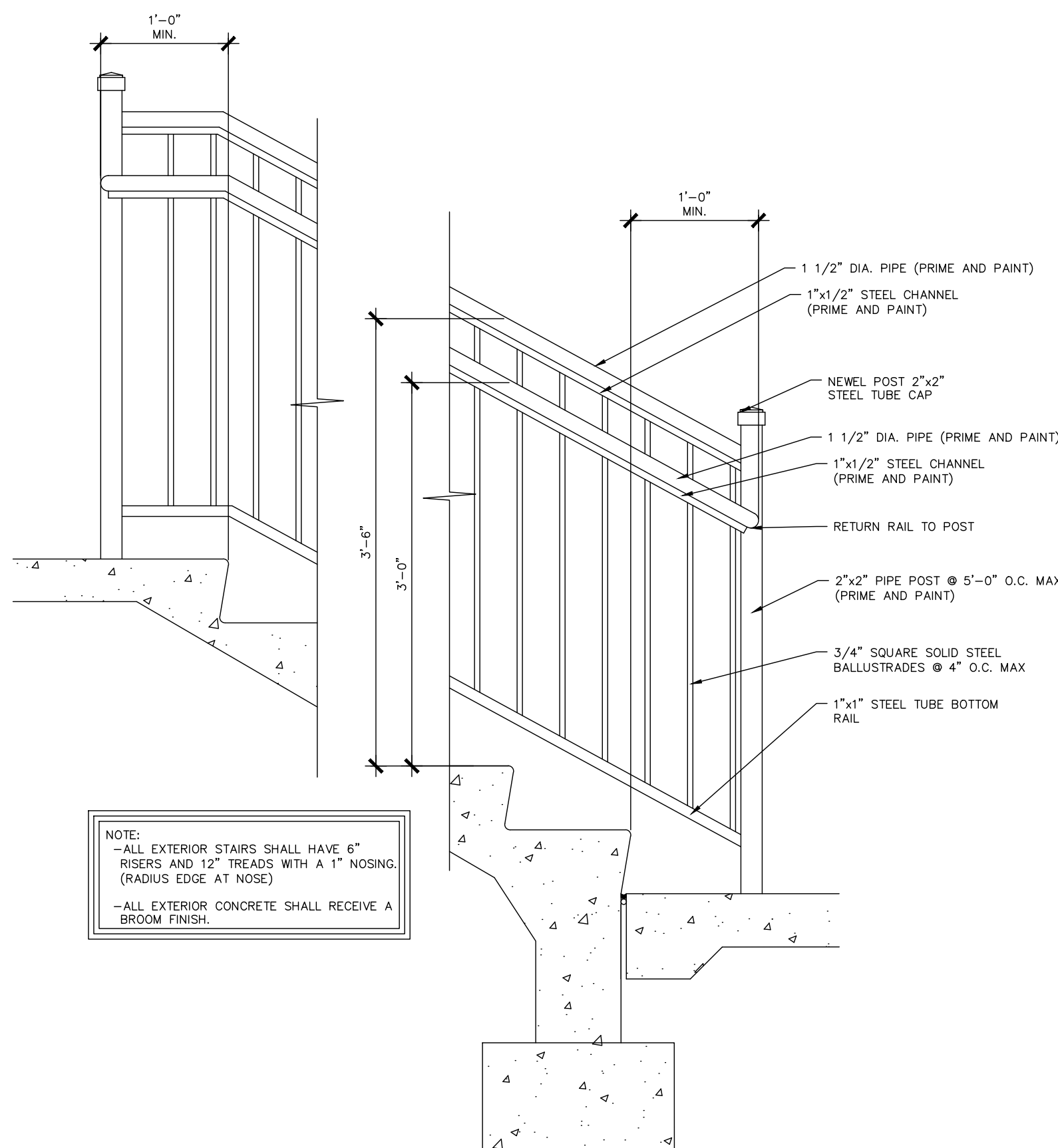


TYPICAL SLAB PERIMETER DETAIL

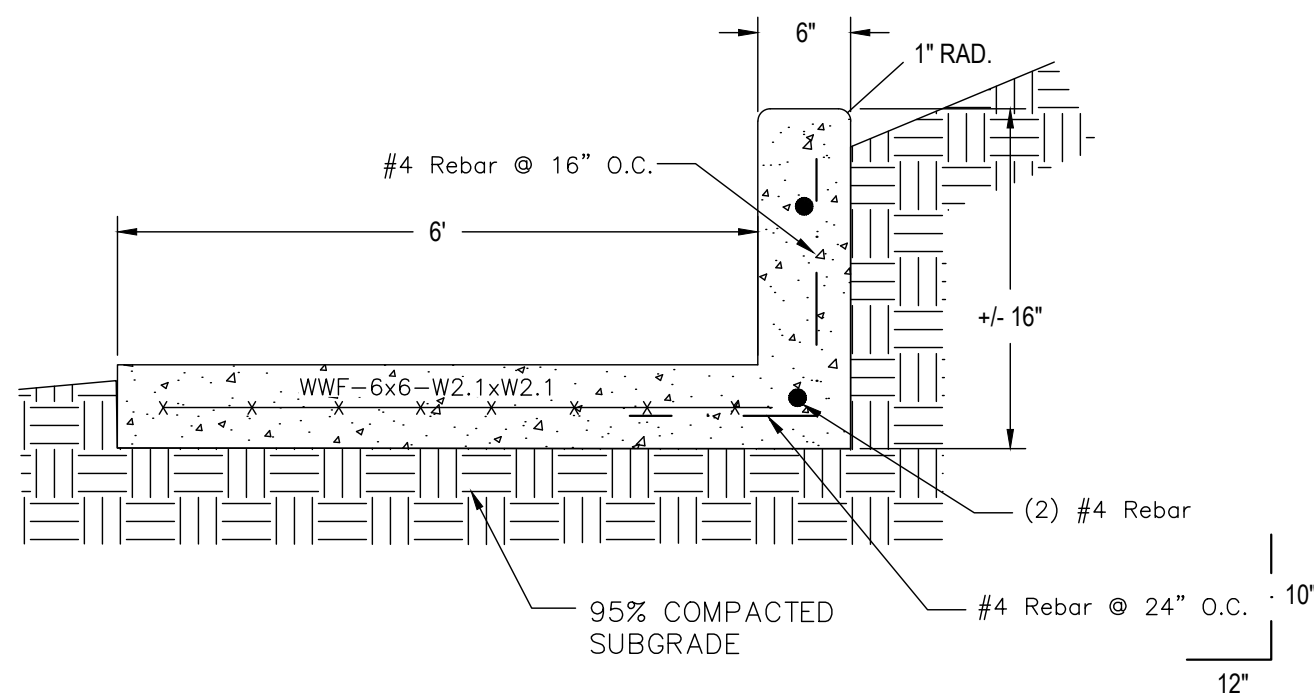


TYPICAL PLAYING COURT SLAB DETAIL

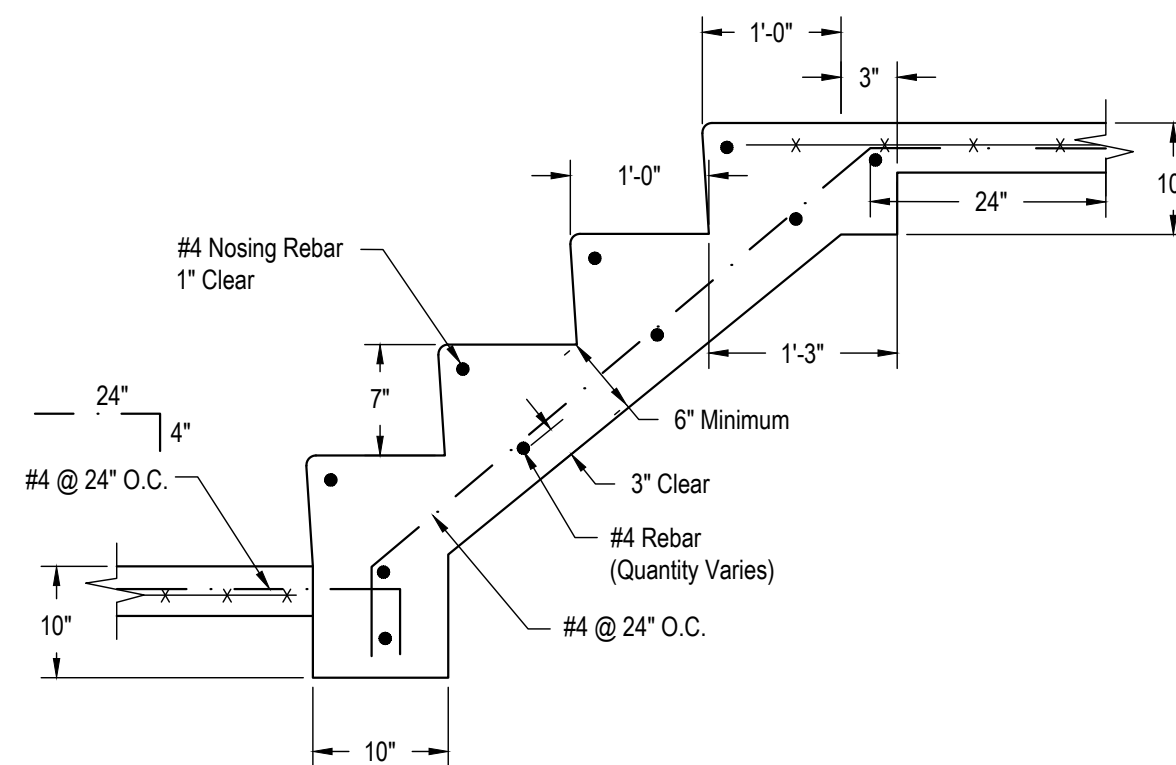
- NOTES:
1. THE SLAB WILL BE 4" MINIMUM IN DEPTH TO BE DESIGNED BY THE CONTRACTOR, SUBMIT PLAN TO ENGINEER FOR REVIEW.
 2. SLAB TO BE DESIGNED TO MEET THE SPECIFICATIONS FOR CAST IN-PLACE REINFORCED CONCRETE.
 3. THERE ARE TO BE NO CONSTRUCTION OR CONTROL JOINTS WITHIN THE LIMITS OF THE PLAYING SURFACE.



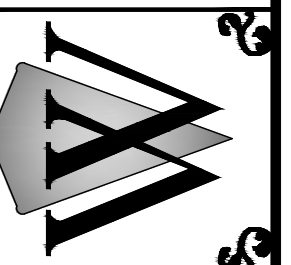
PRIVATE DRIVE PAVE SECTION



SIDEWALK SECTION @ RETAINING WALL
NOT TO SCALE



Stair Details (Typical)
NOT TO SCALE



Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

REVISION	DATE

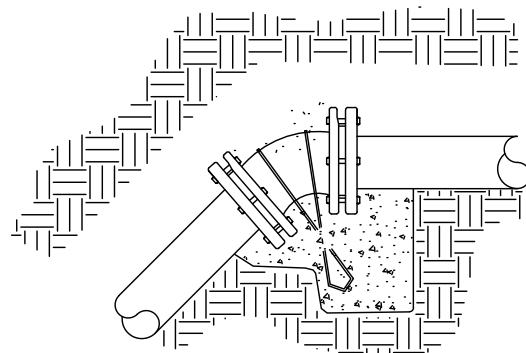
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Proj.No.: SB-244076
Drawn By: JCP/JWW
Checked By: JWW

Sheet Title:

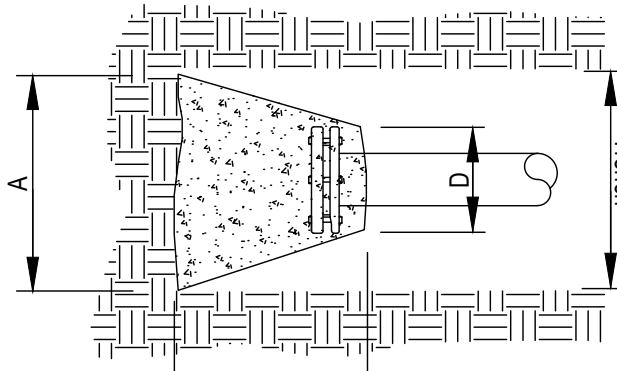
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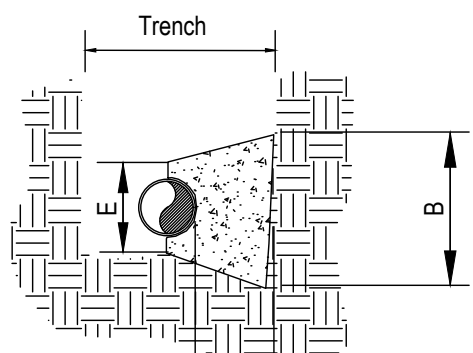
C 11.1



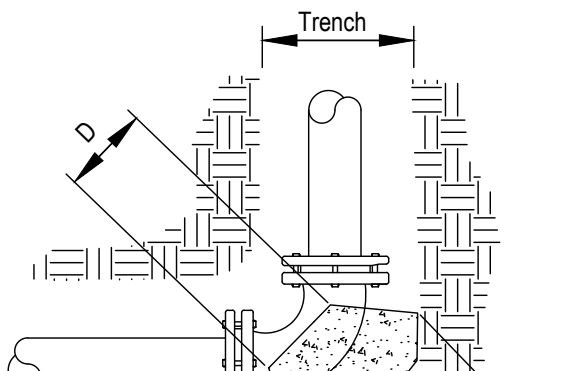
VERTICAL BEND - ANCHORED



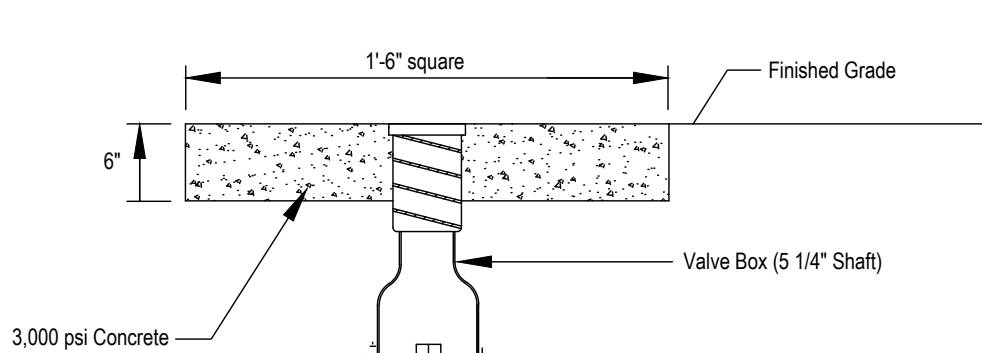
CAP



TYPICAL SECTION

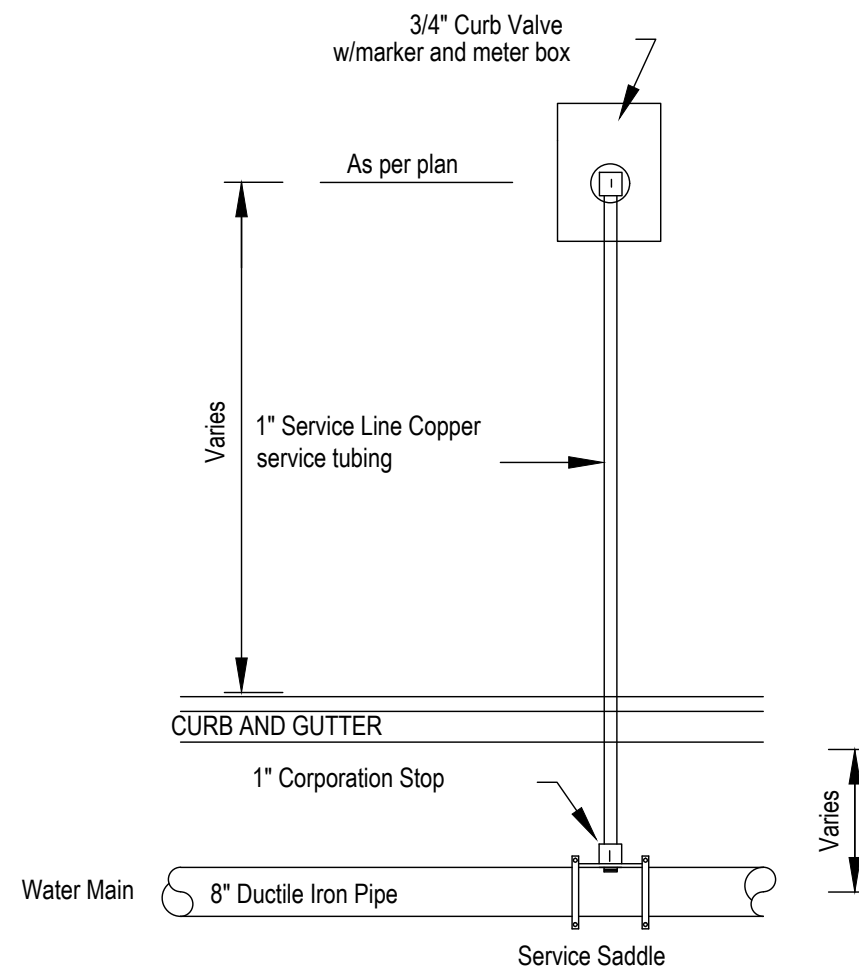


90° BEND



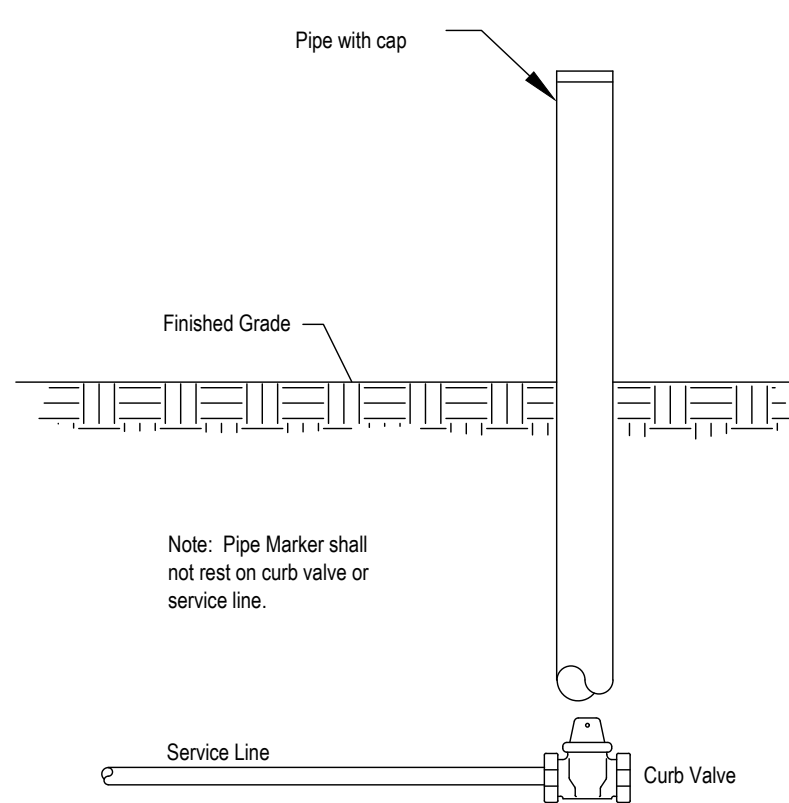
VALVE AND BOX ASSEMBLY

NTS



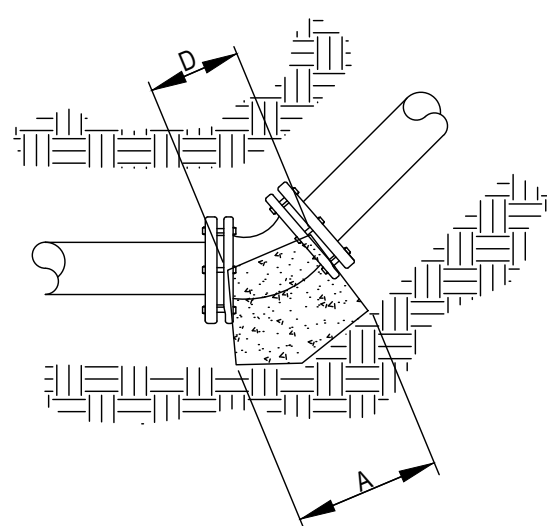
TYPICAL SERVICE INSTALLATION - COTTAGE PRIVATE SERVICE

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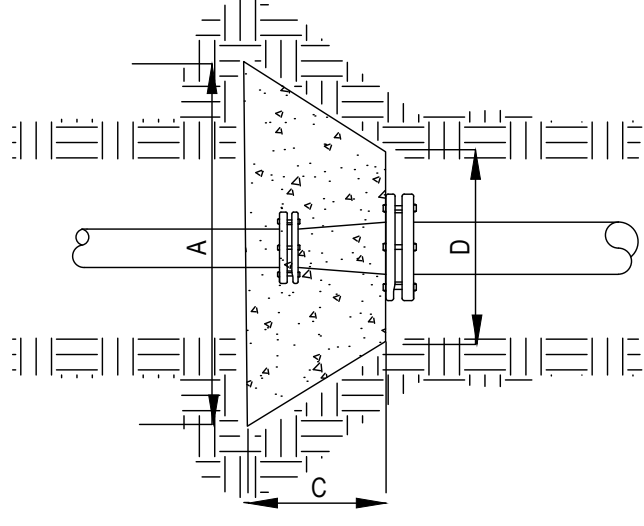


PIPE MARKER DETAIL for WATER SERVICE

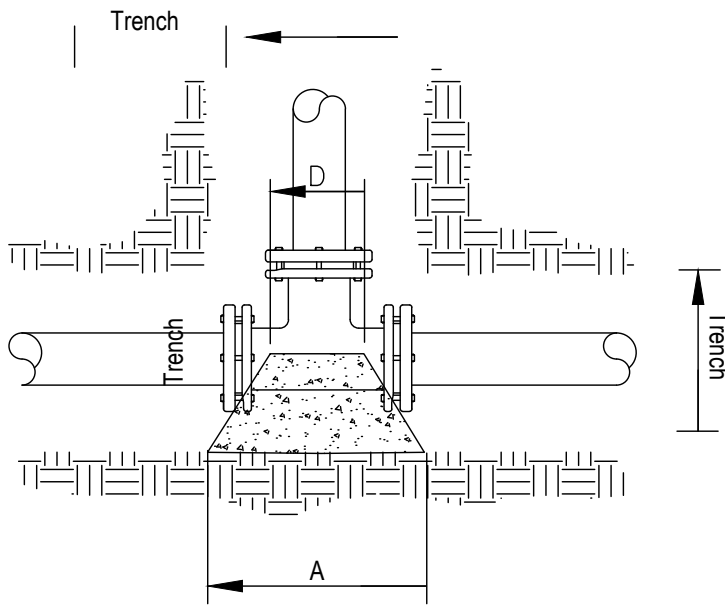
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45° 22 1/2° AND 11 1/4° BENDS



REDUCER



TEE

90° BEND	PIPE DIAMETER						
	2"	4"	6"	8"	10"	12"	16"
DIMENSION	A	14"	18"	26"	34"	42"	48"
	B	14"	18"	26"	34"	42"	48"
	C	10"	12"	18"	22"	28"	32"
	D	8"	9"	11"	12"	15"	16"
	E	8"	9"	11"	12"	15"	16"

45° BEND	PIPE DIAMETER						
	2"	4"	6"	8"	10"	12"	16"
DIMENSION	A	12"	16"	18"	24"	30"	36"
	B	12"	16"	18"	24"	30"	36"
	C	8"	9"	12"	12"	20"	24"
	D	8"	9"	11"	12"	15"	16"
	E	8"	9"	11"	12"	15"	16"

22 1/2° BEND	PIPE DIAMETER						
	2"	4"	6"	8"	10"	12"	16"
DIMENSION	A	9"	12"	14"	18"	24"	34"
	B	9"	12"	14"	18"	24"	34"
	C	8"	8"	10"	12"	16"	22"
	D	8"	9"	11"	12"	15"	20"
	E	8"	9"	11"	12"	15"	20"

11 1/4° BEND	PIPE DIAMETER						
	2"	4"	6"	8"	10"	12"	16"
DIMENSION	A	9"	10"	12"	14"	16"	24"
	B	9"	10"	12"	14"	16"	24"
	C	6"	8"	8"	10"	10"	14"
	D	8"	9"	11"	12"	15"	20"
	E	8"	9"	11"	12"	15"	20"

CAP	PIPE DIAMETER						
	2"	4"	6"	8"	10"	12"	16"
DIMENSION	A	15"	18"	22"	28"	36"	42"
	B	15"	18"	22"	28"	36"	42"
	C	10"	12"	16"	20"	24"	36"
	D	8"	9"	11"	12"	15"	16"
	E	8"	9"	11"	12"	15"	16"

NOTE:

THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.

BENDS FOR VERTICAL GRADE CHANGE SHALL BE ANCHORED WITH RODS TO THE NEXT FITTING WHERE DISTANCE PERMITS.

BENDS FOR VERTICAL GRADE CHANGE SHALL BE ANCHORED WITH RODS TO THE NEXT FITTING WHERE DISTANCE PERMITS.

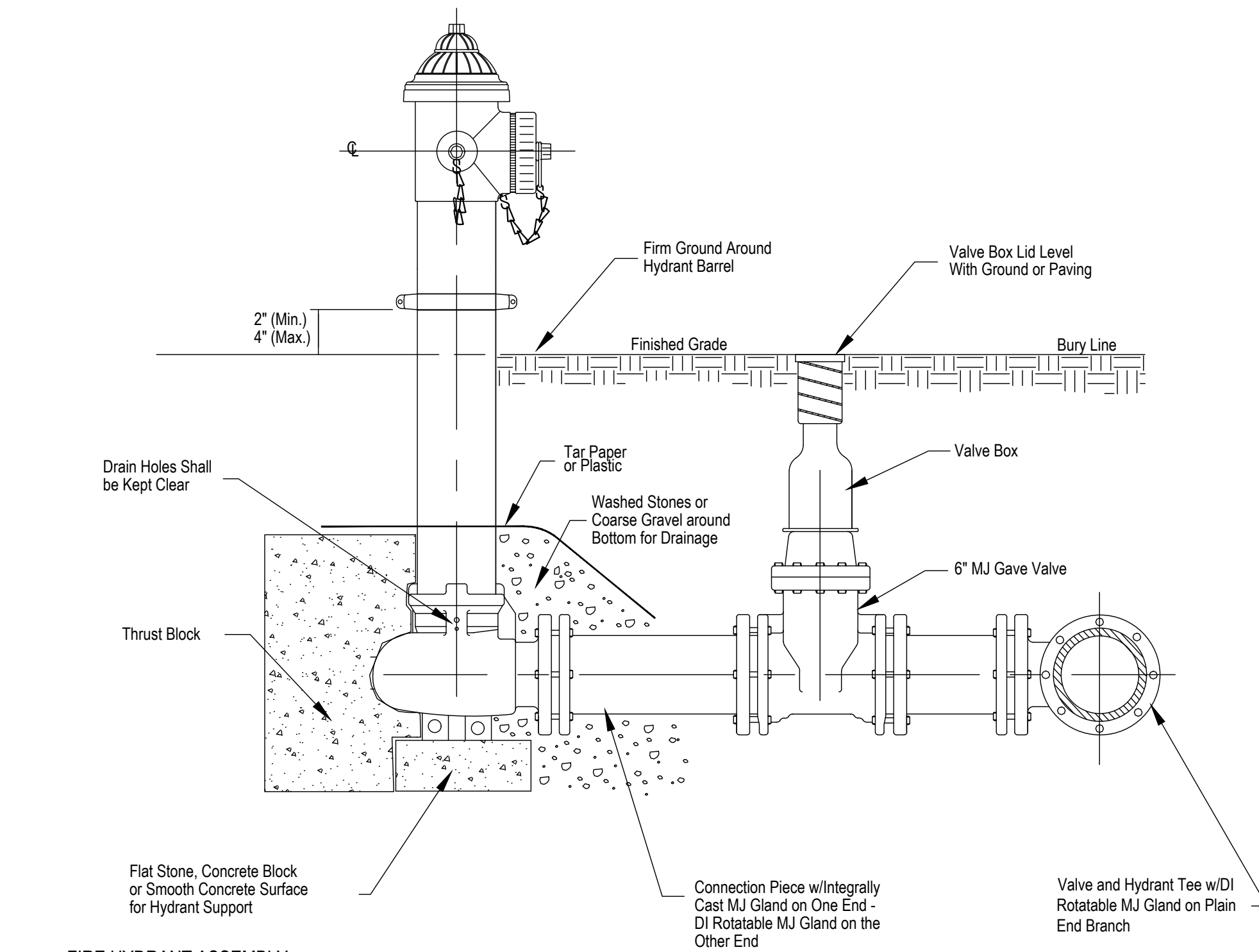
ALL VALVES, FITTINGS, TYPE AND OTHER MATERIALS USED FOR THE CONSTRUCTION OF WATER SUPPLY SHALL MEET CITY SPECIFICATIONS.

REDUCERS		DIMENSION				
LARGE	SMALL	A	B	C	D	E
4"	3"	12"	12"	12"	12"	12"
6"	3"	20"	20"	14"	20"	20"
6"	4"	20"	20"	14"	20"	20"
8"	4"	26"	26"	18"	22"	22"
8"	6"	22"	22"	14"	22"	22"
10"	4"	32"	32"	22"	24"	24"
10"	6"	30"	30"	20"	24"	24"
10"	8"	24"	24"	15"	24"	24"
12"	4"	40"	40"	27"	28"	28"
12"	6"	38"	38"	26"	28"	28"
12"	8"	32"	32"	22"	28"	28"
12"	10"	28"	28"	18"	28"	28"
16"	6"	54"	54"	36"	36"	36"
16"	8"	50"	50"	34"	36"	36"
16"	10"	46"	46"	32"	36"	36"
16"	12"	40"	40"	27"	36"	36"

TEES		DIMENSION				
RUN	BRANCH	A	B	C	D	E
2"	2"	16"	16"	12"	8"	8"
4"	3"	16"	16"	12"	13"	9"
4"	4"	18"	18"	12"	13"	9"
6"	3"	16"	16"	12"	16"	11"
6"	4"	18"	18"	12"	16"	11"
6"	6"	22"	22"	16"	16"	11"
8"	4"	18"	18"	12"	18"	12"
8"	6"	22"	22"	16"	18"	12"
8"	8"	28"	28"	20"	18"	12"
10"	4"	22"	22"	16"	22"	15"
10"	6"	22"	22"	16"	22"	15"
10"	8"	28"	28"	20"	22"	15"
10"	10"	36"	36"	24"	22"	15"
12"	4"	24"	24"	16"	24"	16"
12"	6"	24"	24"	16"	24"	16"
12"	8"	28"	28"	20"	24"	16"
12"	10"	36"	36"	24"	24"	16"
12"	12"	42"	42"	28"	24"	16"
16"	6"	30"	30"	20"	30"	20"
16"	8"	30"	30"	20"	30"	20"
16"	10"	36"	36"	24"	30"	20"
16"	12"	42"	42"	28"	30"	20"
16"	16"	54"	54"	36"	30"	20"

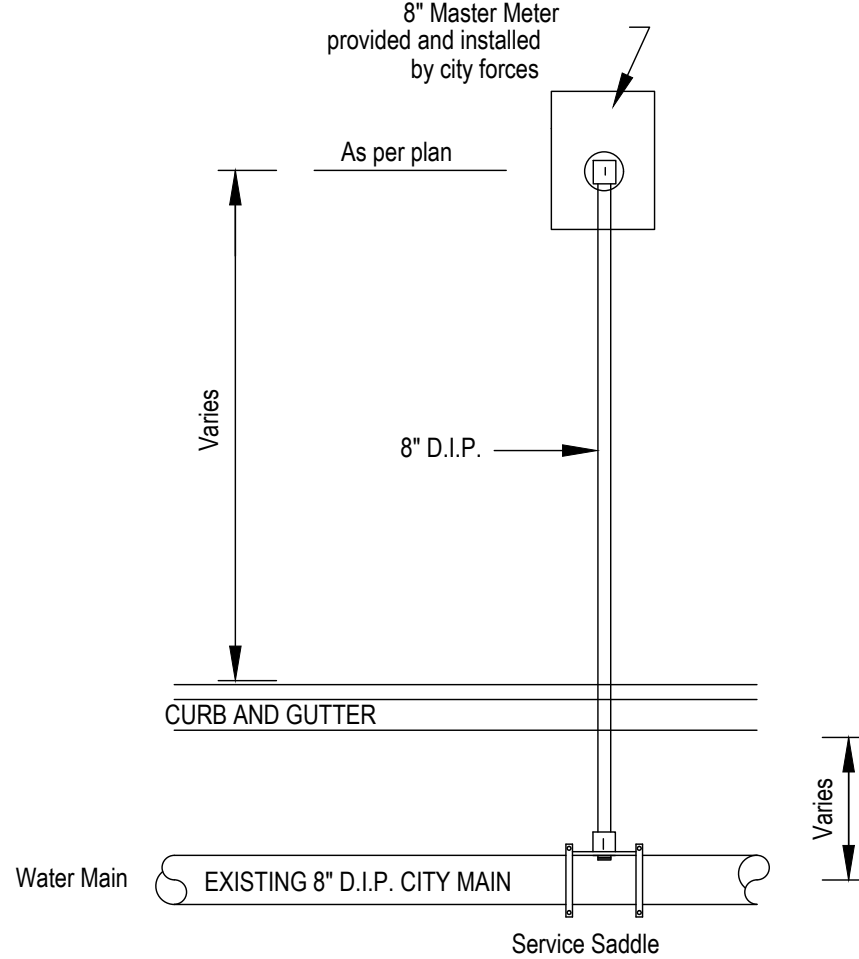
WATER METER VAULT DETAIL

NTS



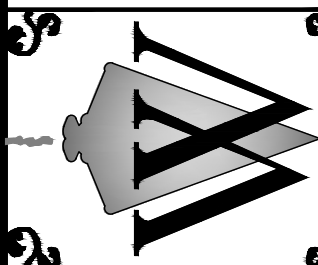
FIRE HYDRANT ASSEMBLY

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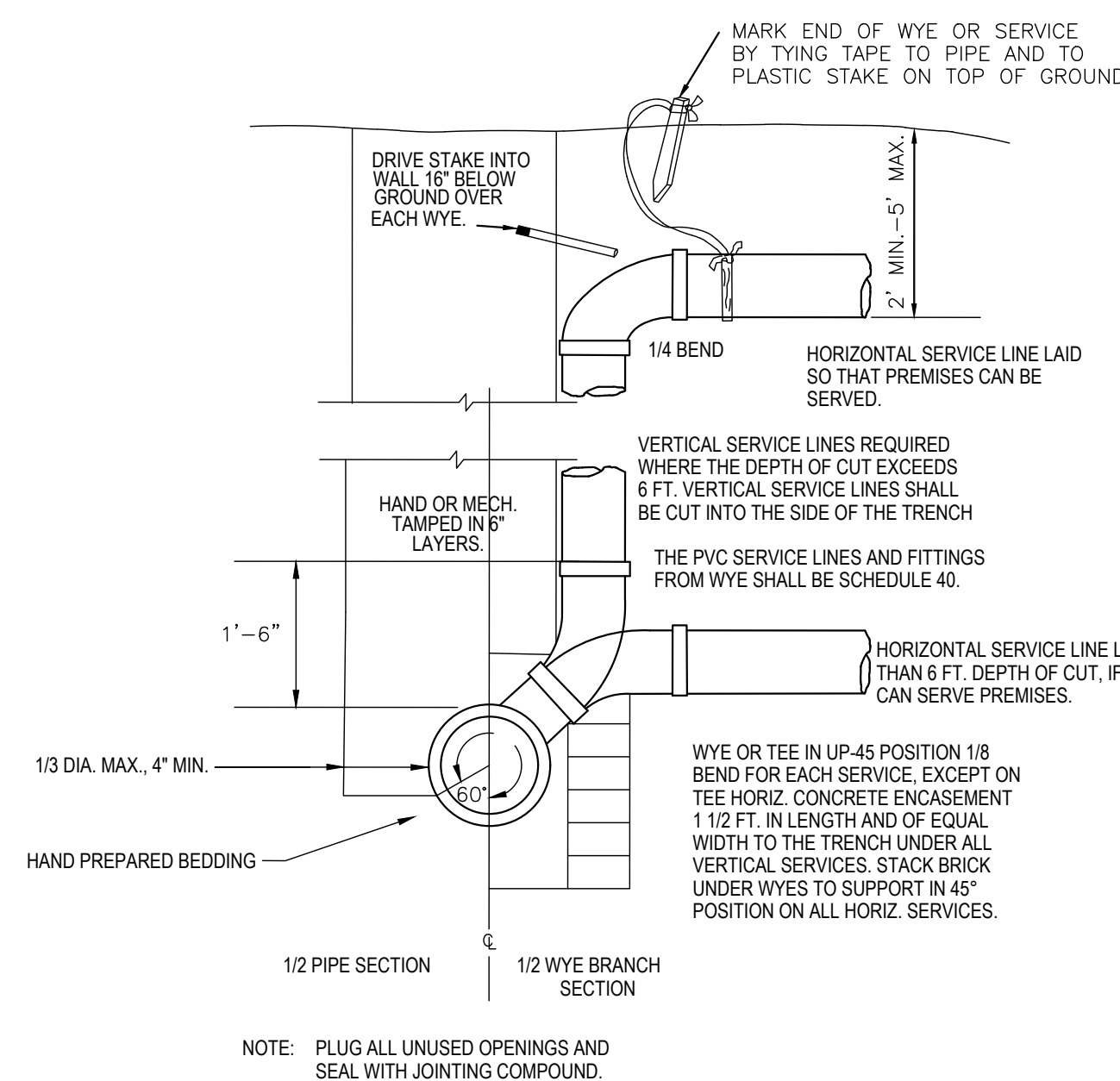
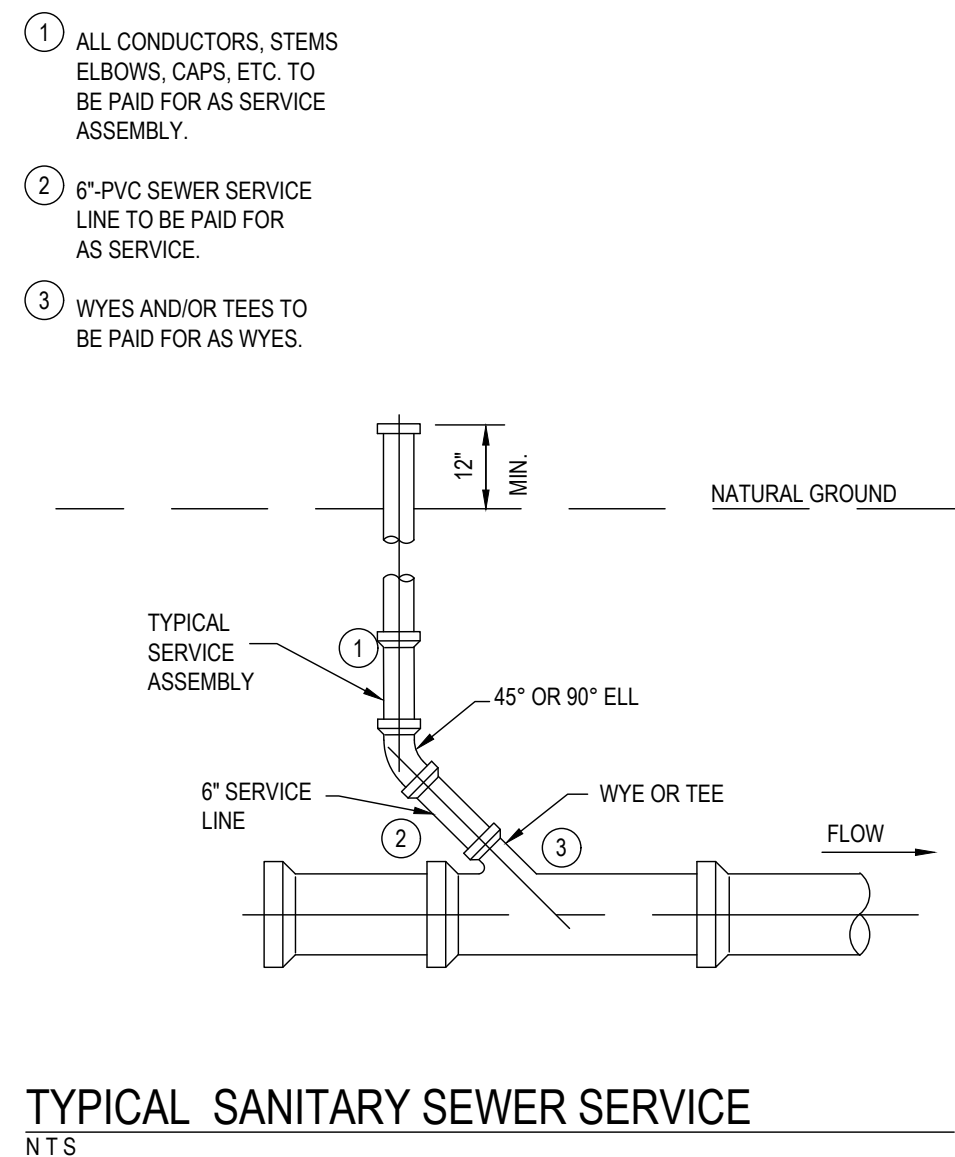
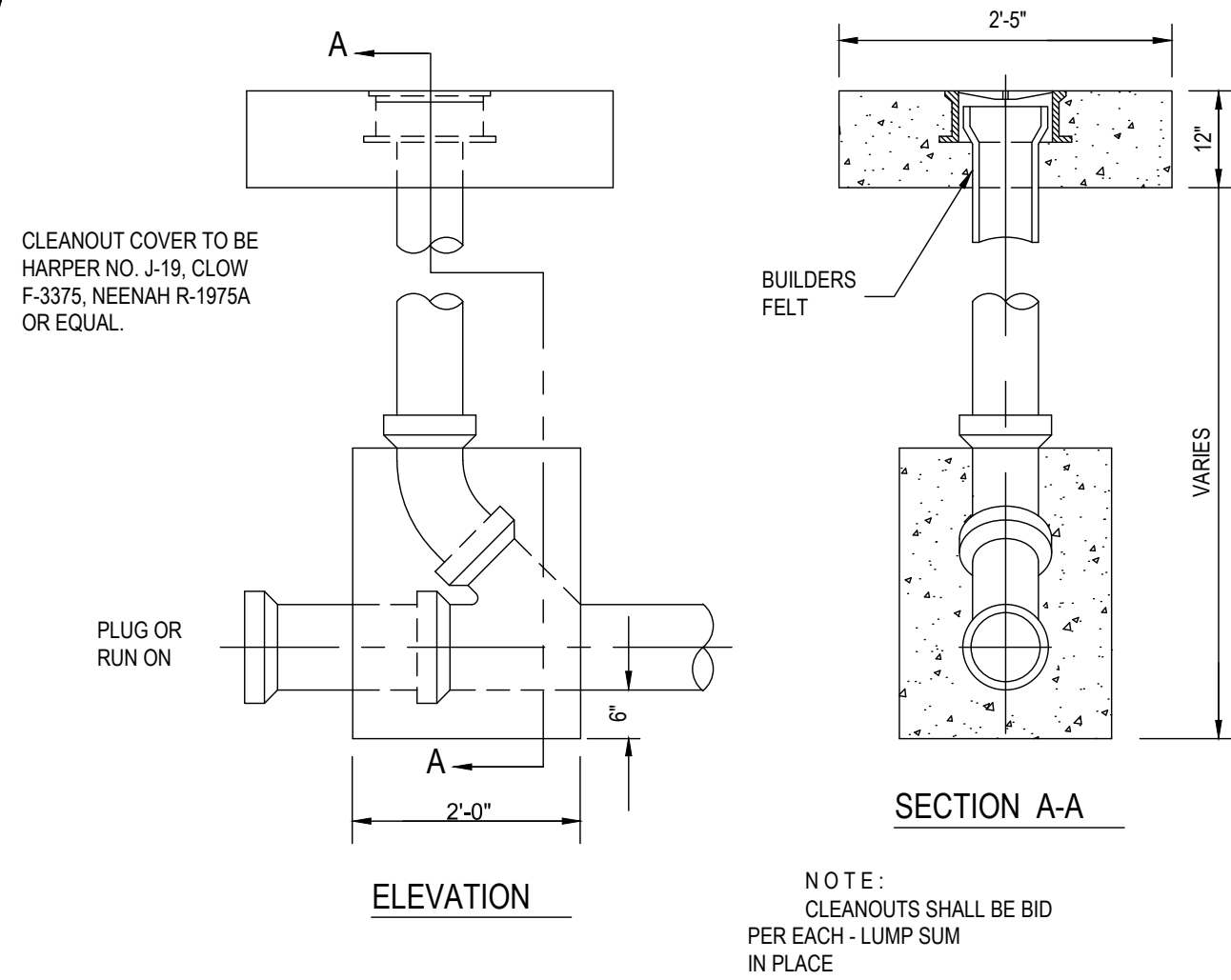
MASTER METER - INSTALLATION DETAIL

NTS

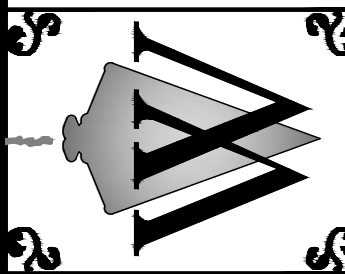
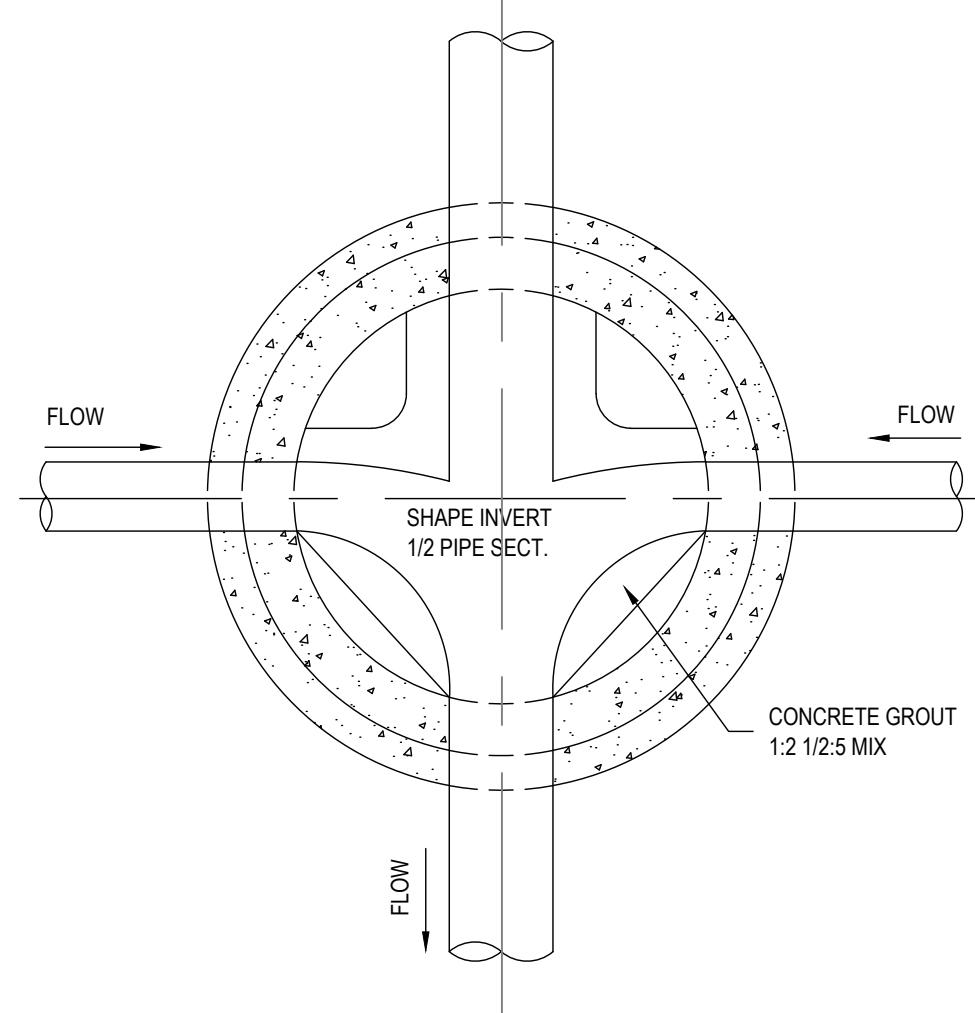
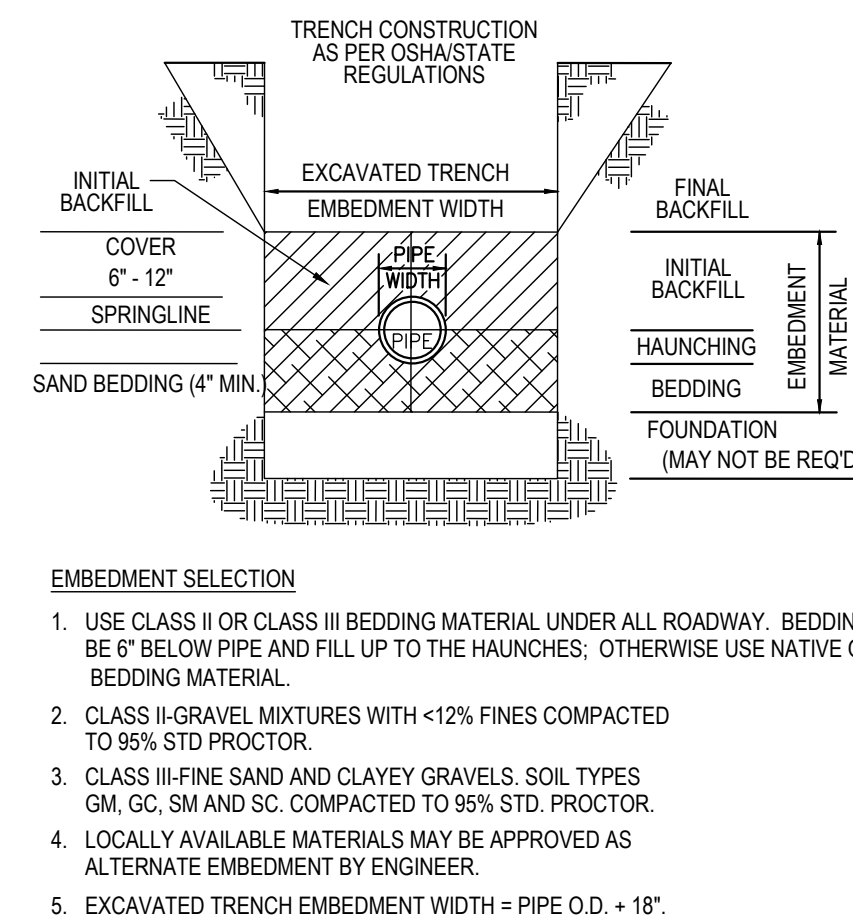
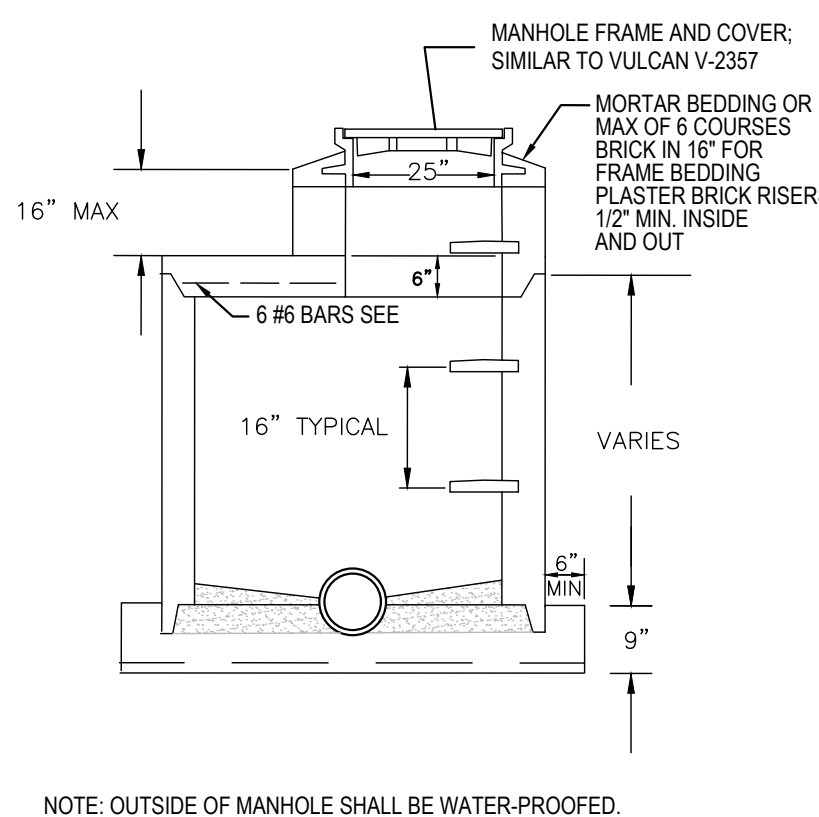
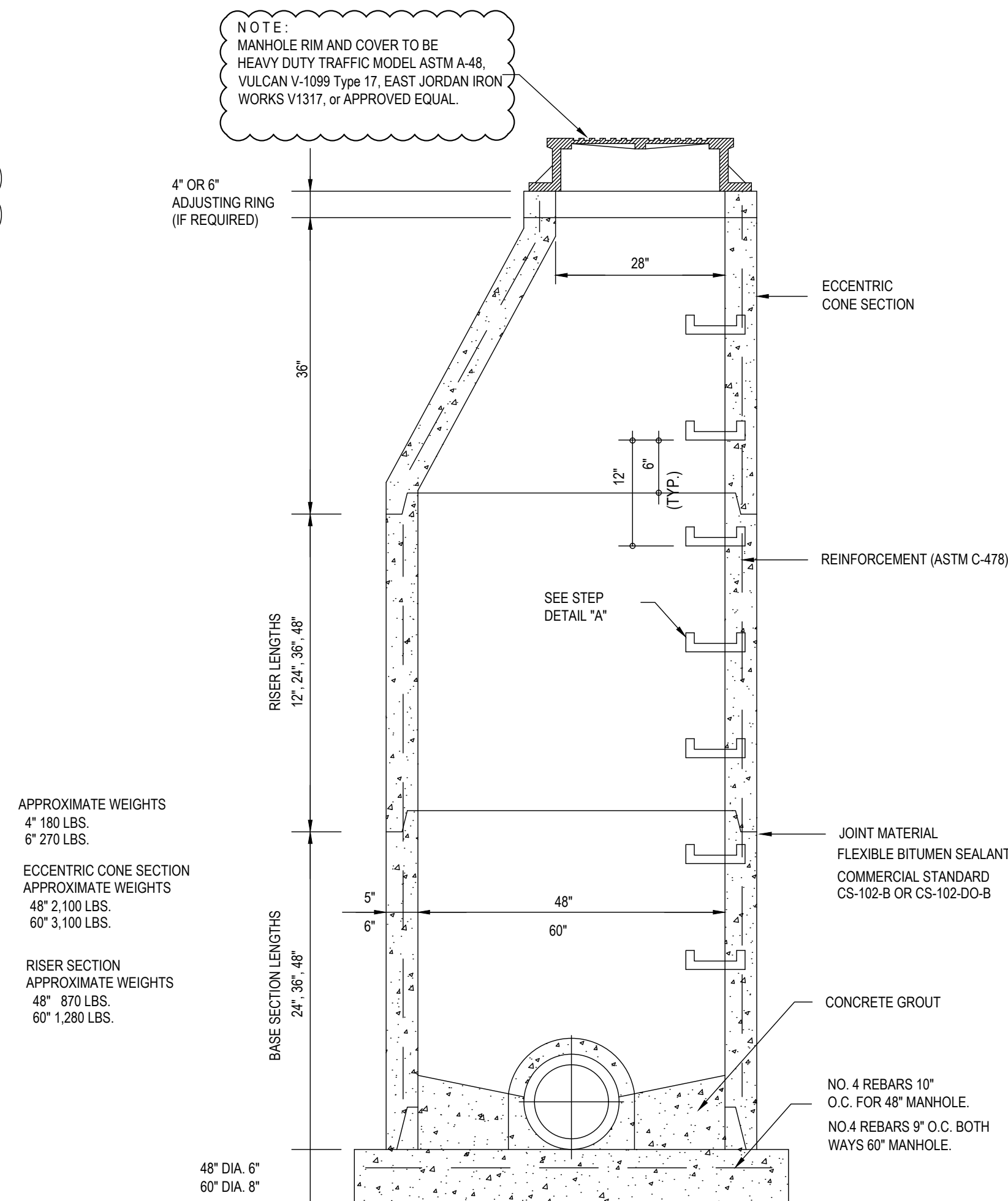
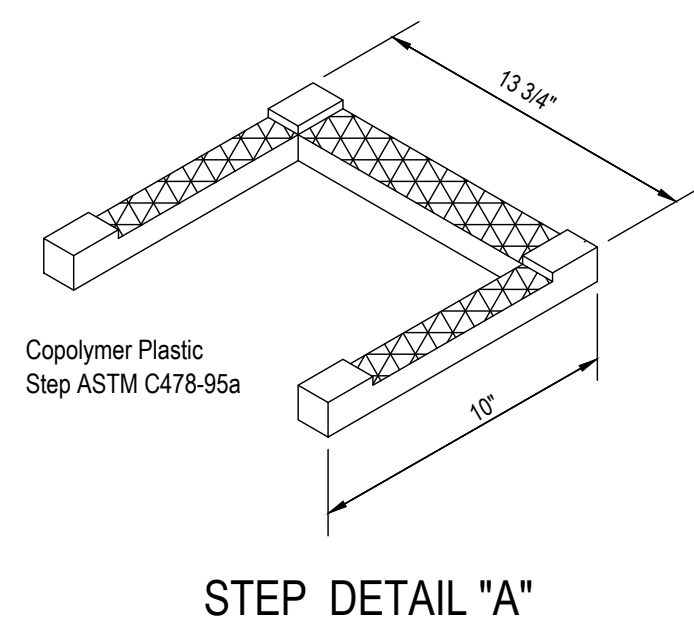
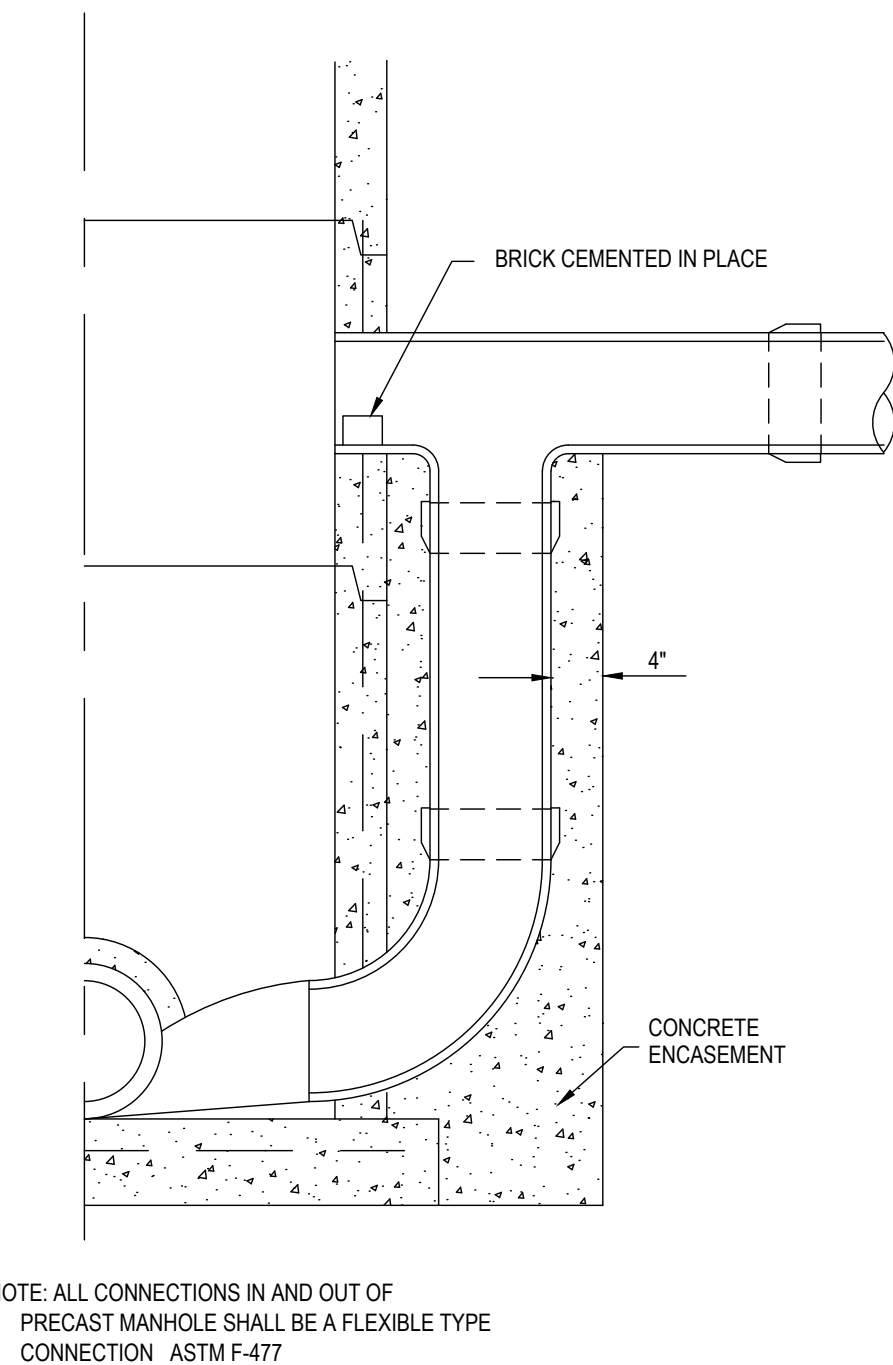
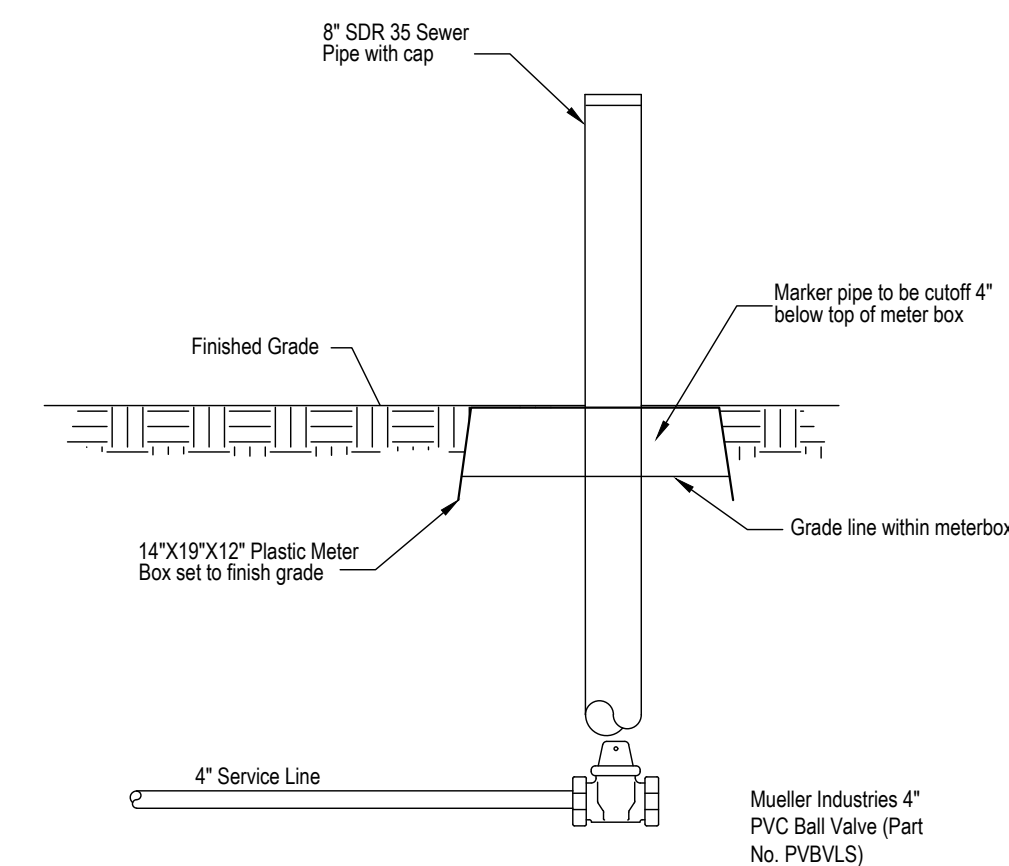
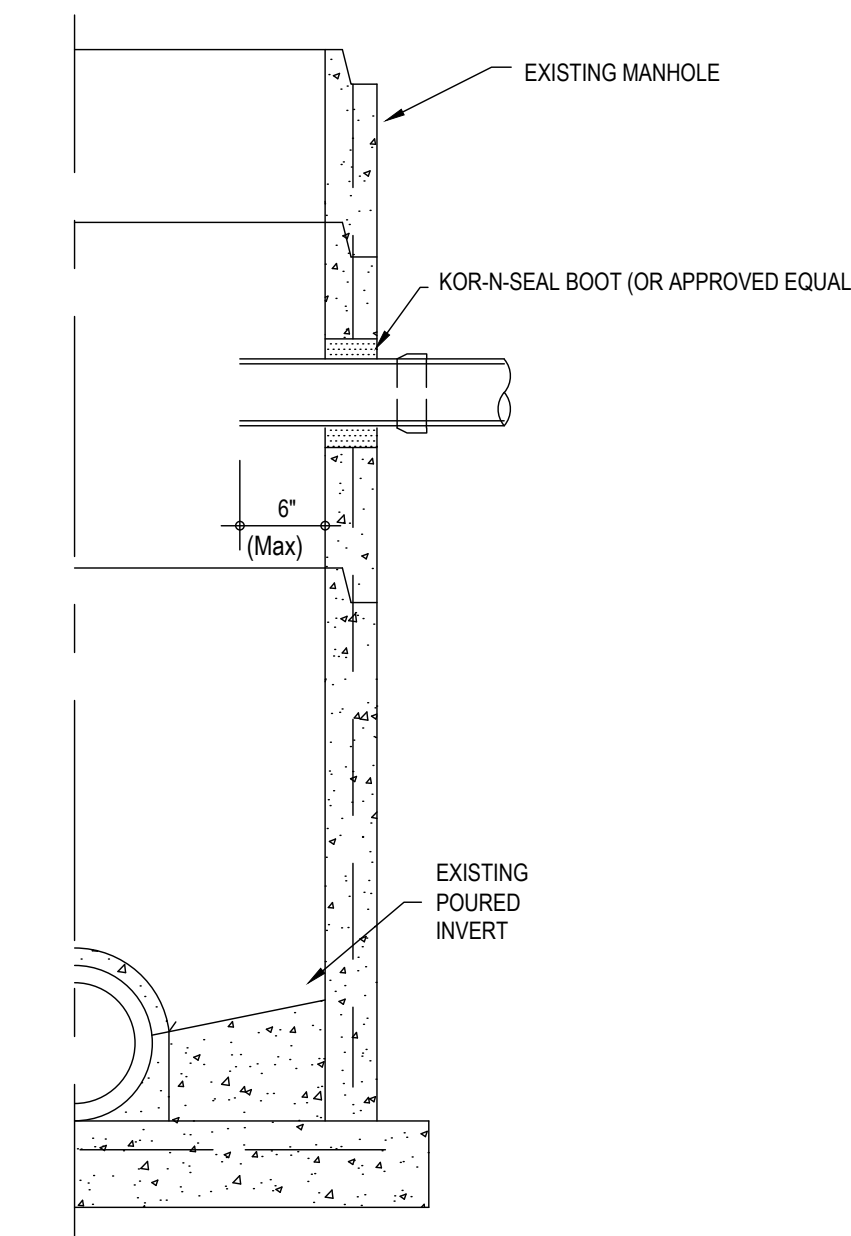
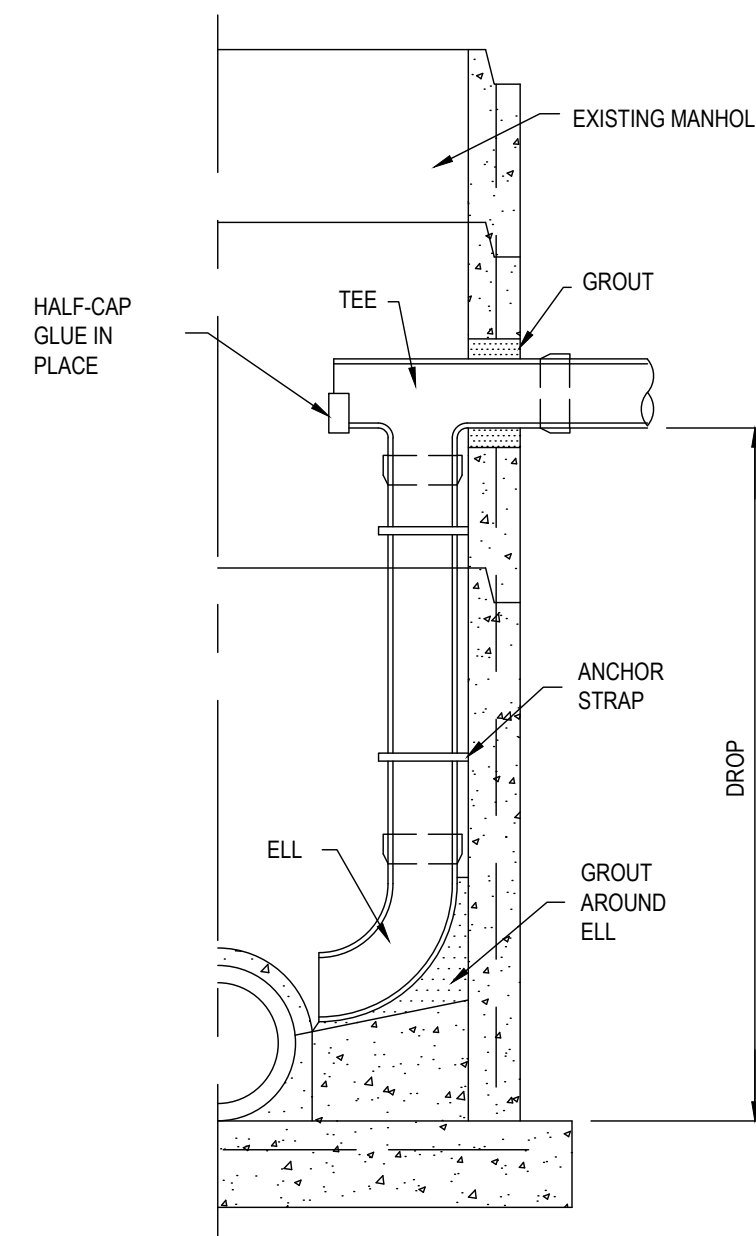
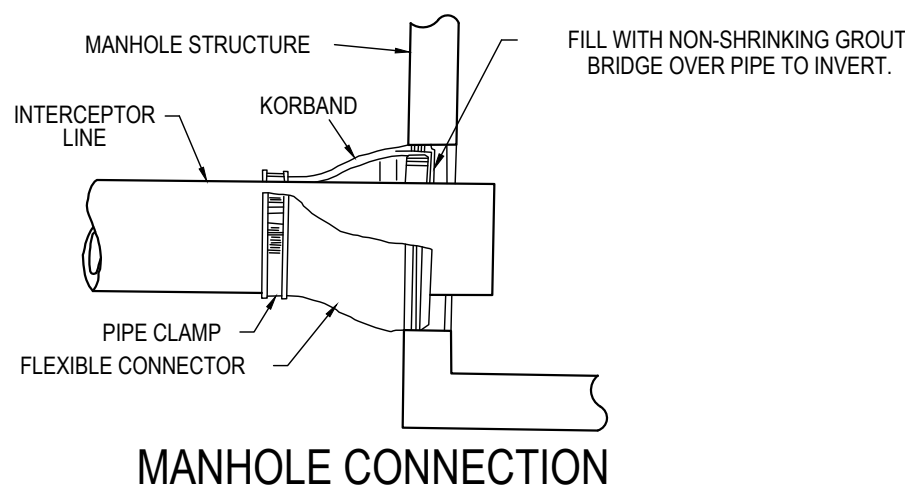
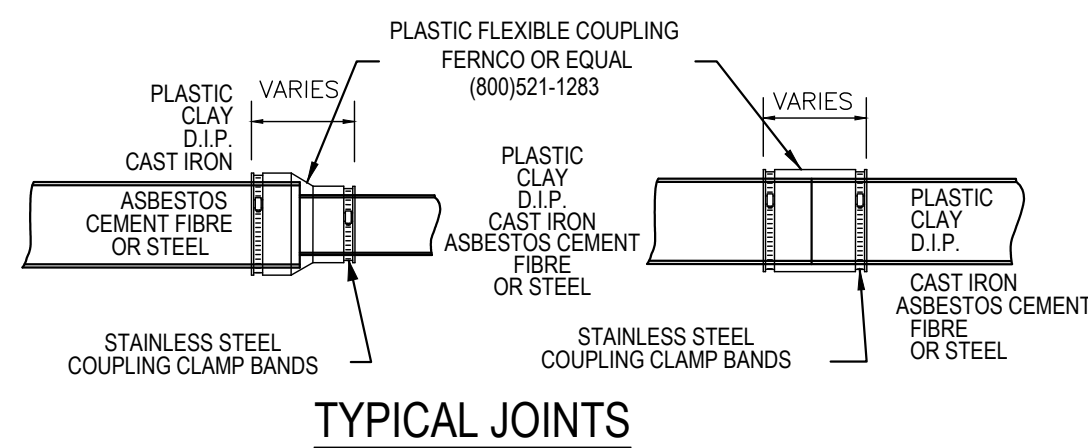


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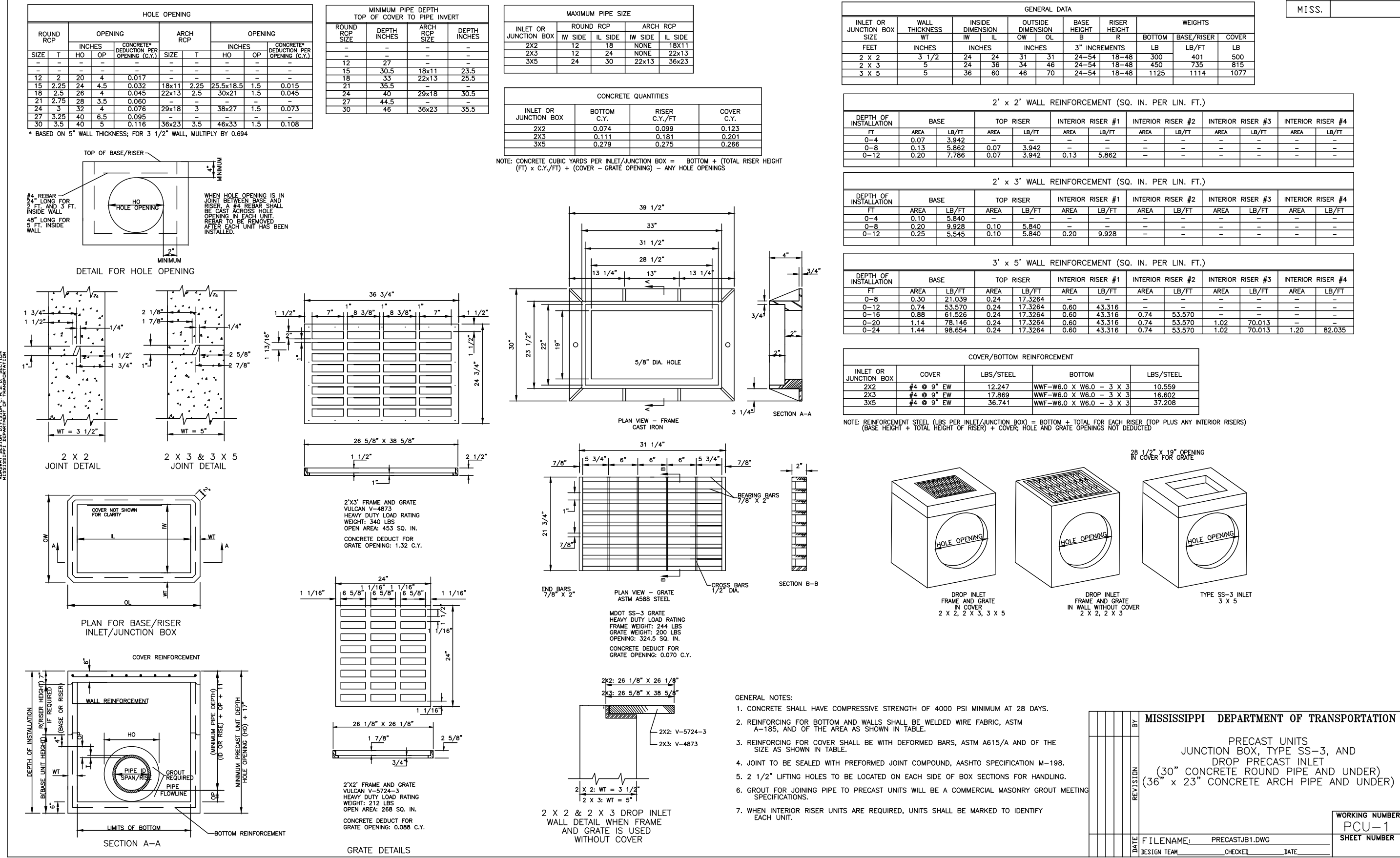
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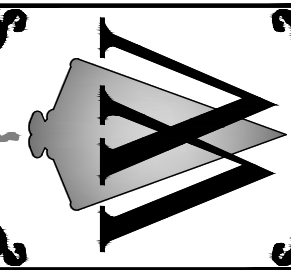
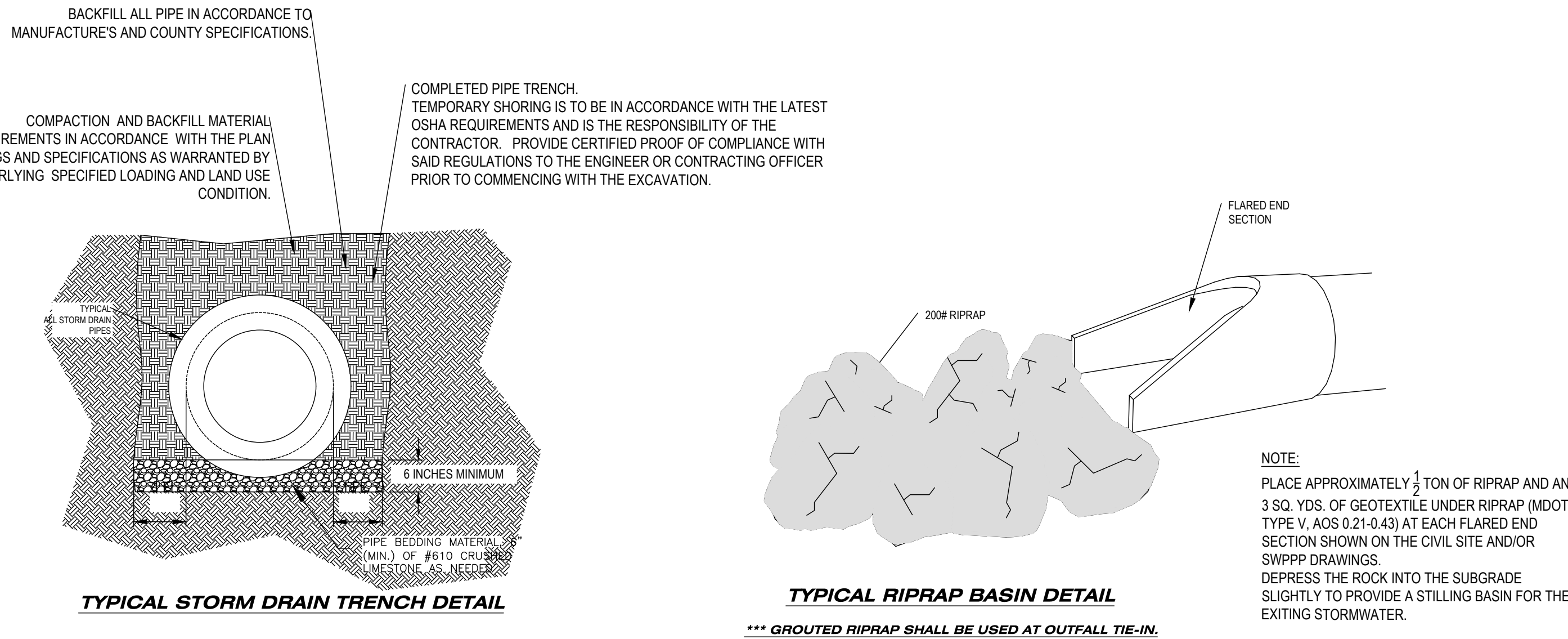
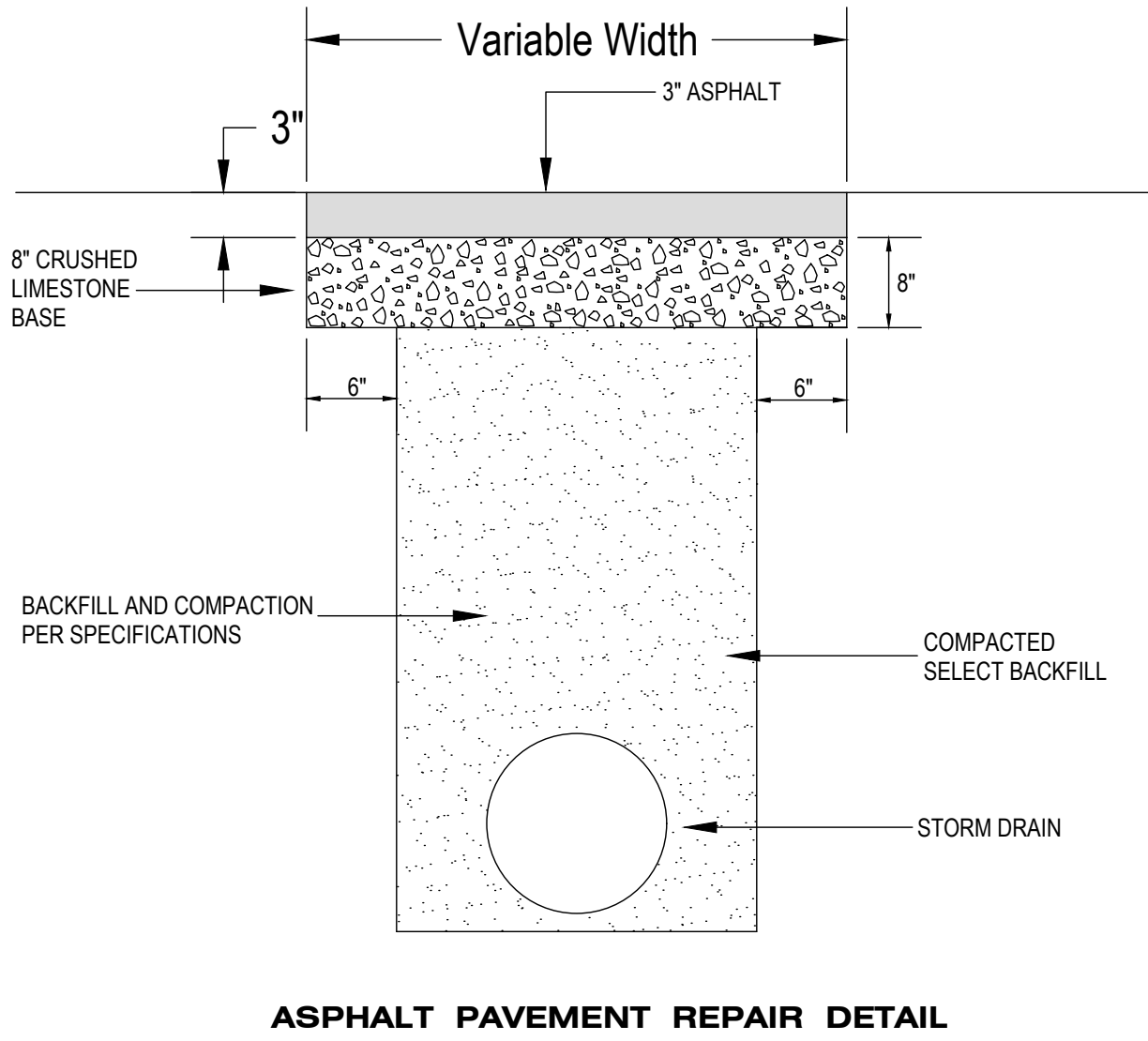
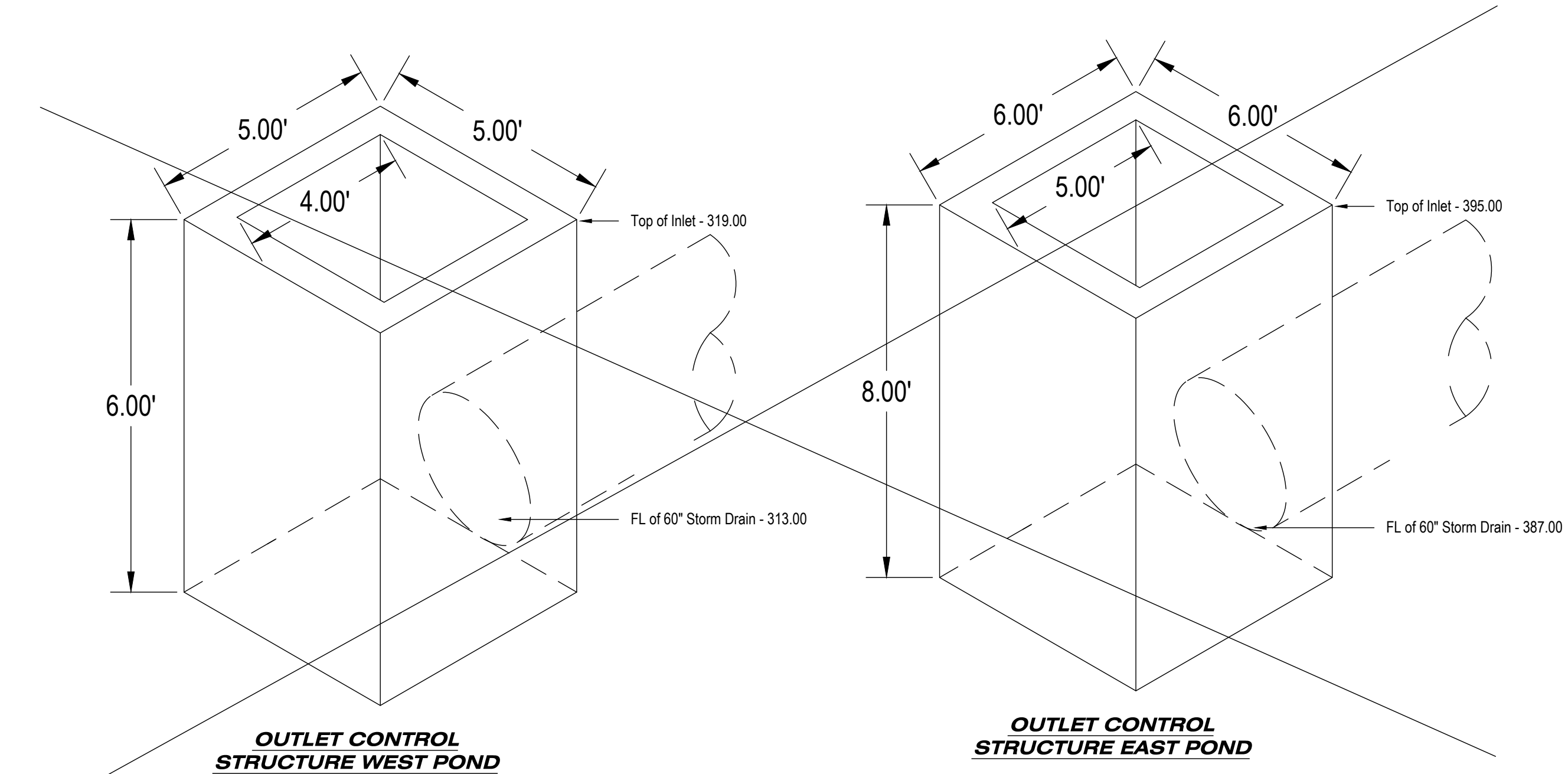
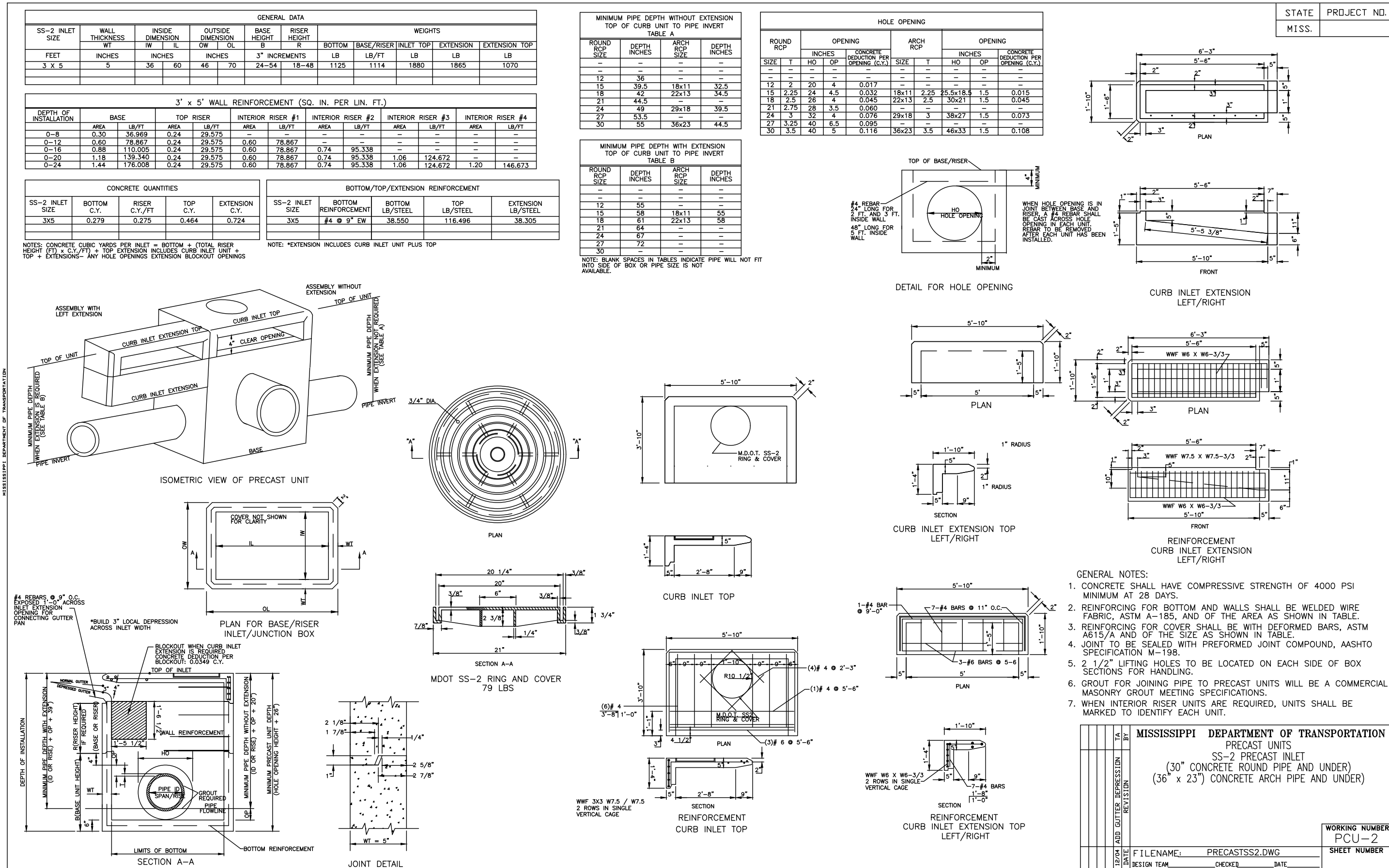
- SEWER INSTALLATION NOTES:**
1. ALL WASTEWATER PIPE CONSTRUCTION MUST CONFORM TO ALL LAFAYETTE COUNTY STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS.
 3. ALL PROPOSED SANITARY SEWER PIPING SHALL BE INSTALLED AT A GRADE OF NO LESS THAN 0.40 % OR PER LAFAYETTE COUNTY STANDARDS, WHICHEVER IS GREATER.
 4. SEWERS SHOULD BE LAID AT LEAST 10 FEET HORIZONTALLY AND 18" VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. WITH THE WATER MAIN ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN OR THE SEWER SHOULD BE DUCTILE IRON OR SHALL BE ENCASED IN DUCTILE IRON OR CONCRETE FOR A MINIMUM OF ONE FULL JOINT LENGTH ON EACH SIDE OF THE CROSSING.
 5. ALL SEWER SERVICE SHALL BE 6" PVC UP TO BUILDING CLEANOUTS, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL SERVICE LINES SHALL MEET THE SPECIFICATIONS OF THE LAFAYETTE COUNTY.
 6. SEWER SERVICES SHALL BE INSTALLED TO WITHIN 5' OF THE BUILDING.
 7. ALL ABANDONED SEWER LINES SHALL BE REMOVED OR PLUGGED AND GROUTED FULL.
 8. CONTRACTOR TO FIELD VERIFY NEW SEWER MANHOLE DEPTHS AND SIZES PRIOR TO ORDERING MATERIALS.
 9. ALL EXISTING SEWER SERVICES SHALL BE TIED INTO NEWLY RELOCATED SEWER LINES VIA CLEANOUTS WITH FLUSH MOUNTED BRASS CAPS.
 10. ALL UTILITIES SHALL BE VIDEOED AND RECORDED, AND ANY DEFICIENCIES FOUND SHALL BE CORRECTED PRIOR TO CITY ACCEPTANCE
 11. WHERE SOIL AT THE ELEVATION OF THE BASE OF A MANHOLE IS UNSTABLE, THE THICKNESS AND/OR BASE AREA WILL BE INCREASED AS DIRECTED BY THE ENGINEER.
 12. TAPS TO EXISTING MANHOLES SHALL BE MADE BY CORING WITH THE CONTRACTOR USING A KOR-N-SEAL BOOT (OR APPROVED EQUAL). BLIND DRILLING WILL ONLY BE PERMITTED IN LIEU OF CORING WITH PRIOR CITY APPROVAL. ALL TAPS MUST BE MADE BELOW TRANSITION SECTION AND ABOVE EXISTING POURED INVERT. NEW PIPE SHALL NOT EXTEND FURTHER THAN 6" INTO SMH.

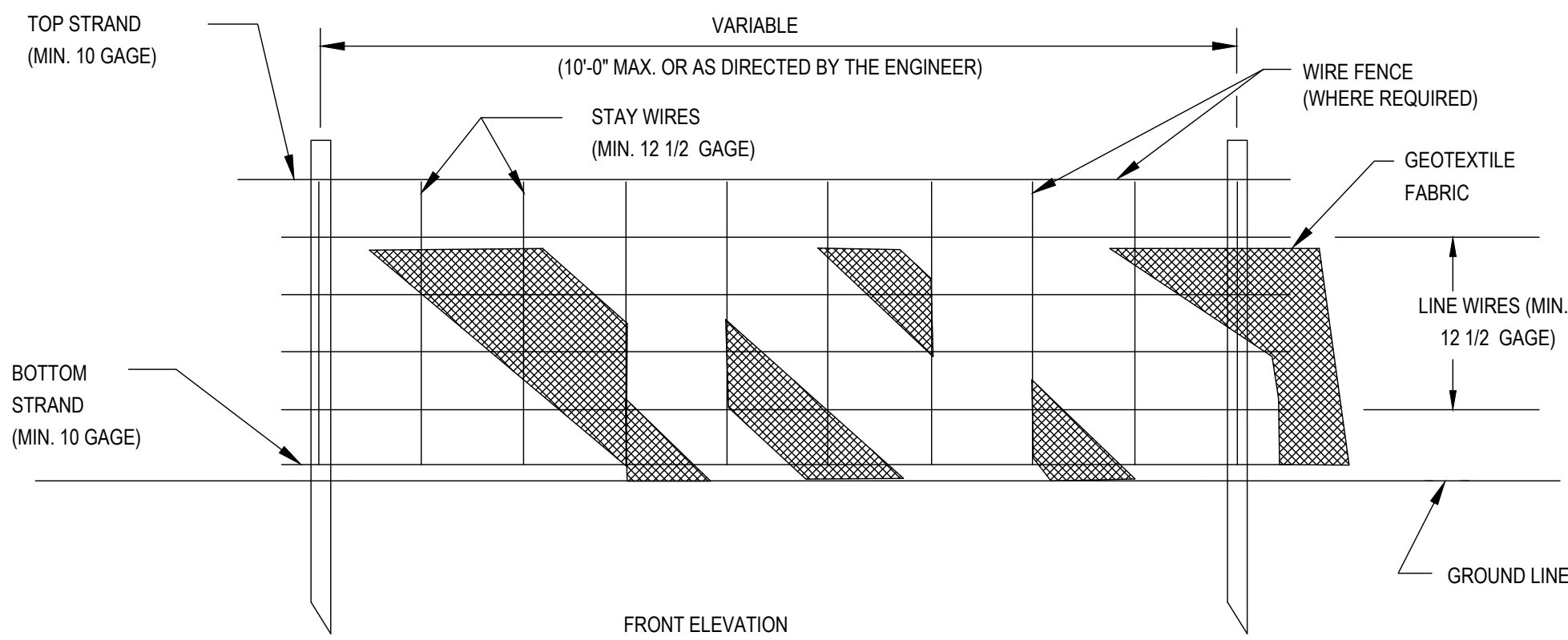
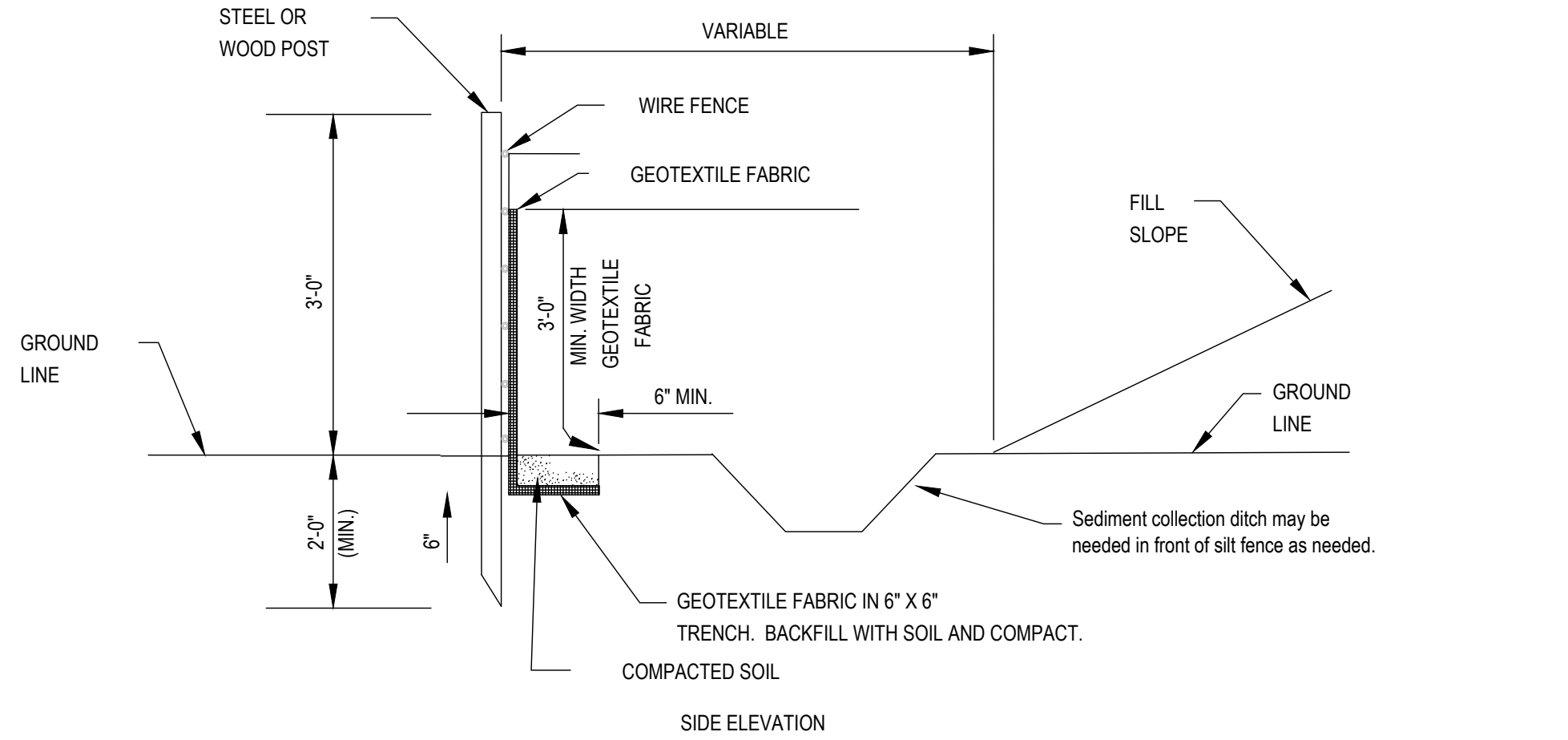


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Sheet No.:	C 13.0



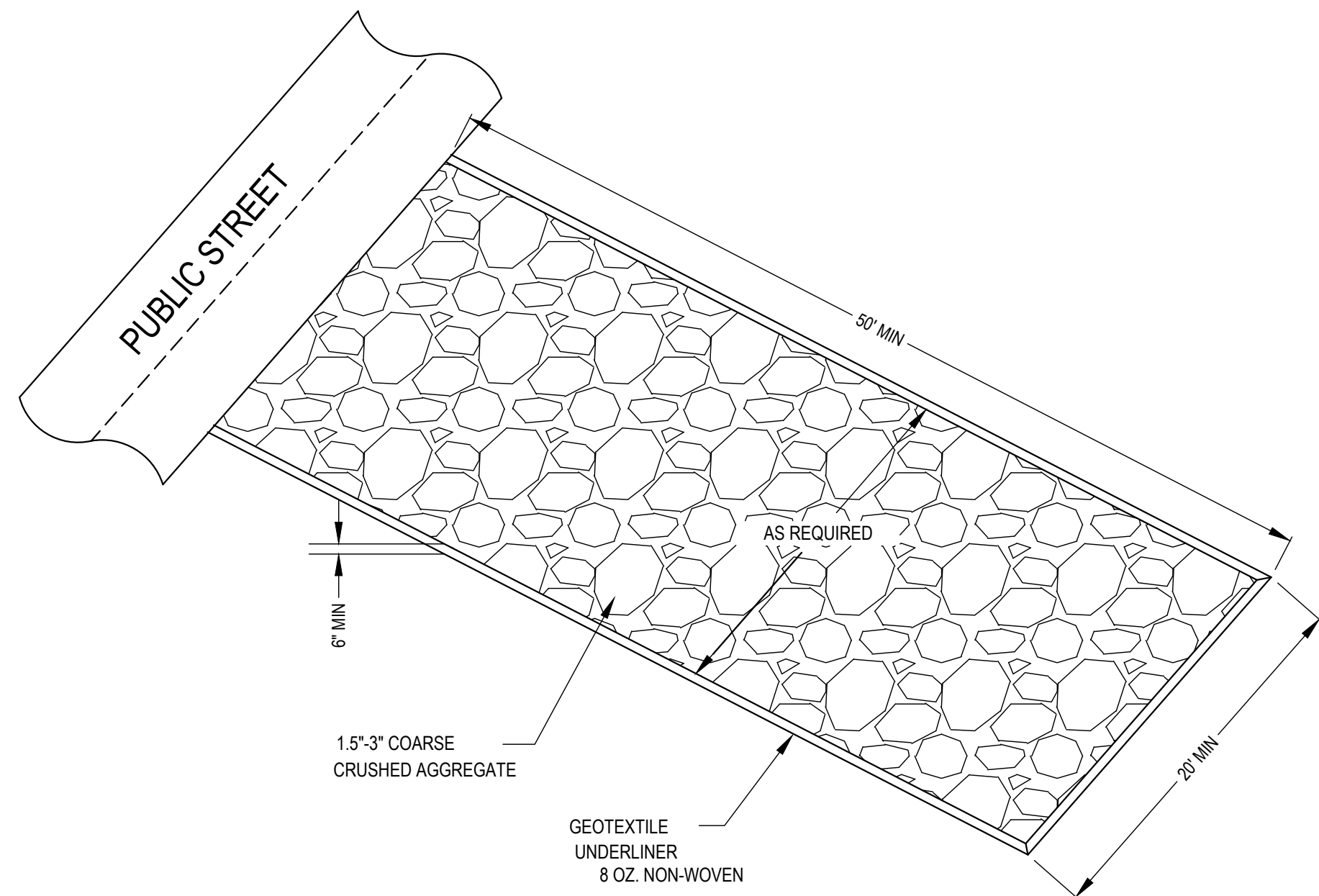
NOTE: THE CURB INLET TOPS WILL BE POURED IN-PLACE REINFORCED CONCRETE INSTALLED TO ALIGN WITH THE PROPOSED CURBS. PRECAST CURB INLET TOPS WILL NOT BE PERMITTED.





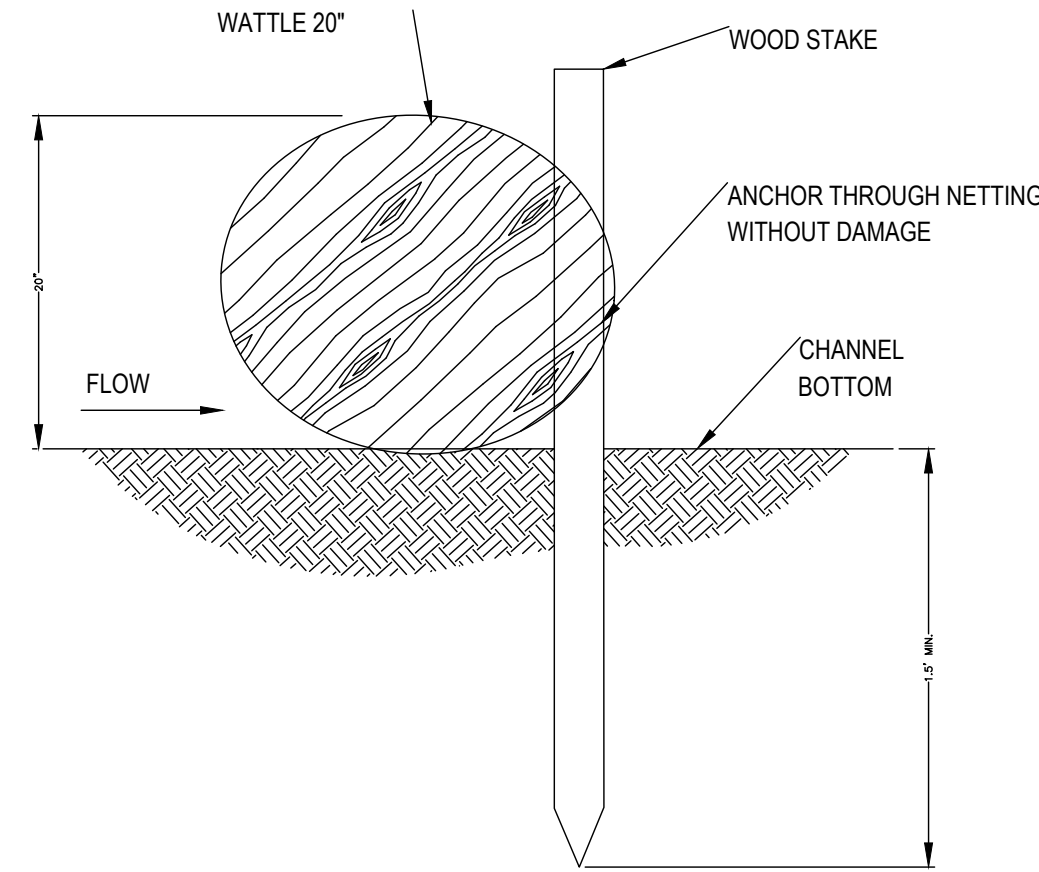
NOTES:

1. WIRE SHALL BE MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER.
3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE. WOOD POST SHALL BE A MINIMUM OF 5'-0" IN HEIGHT AND 3" OR MORE IN DIAMETER. WIRE FENCE SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN 9 GAGE WIRE STAPLES 1" LONG.
4. GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.

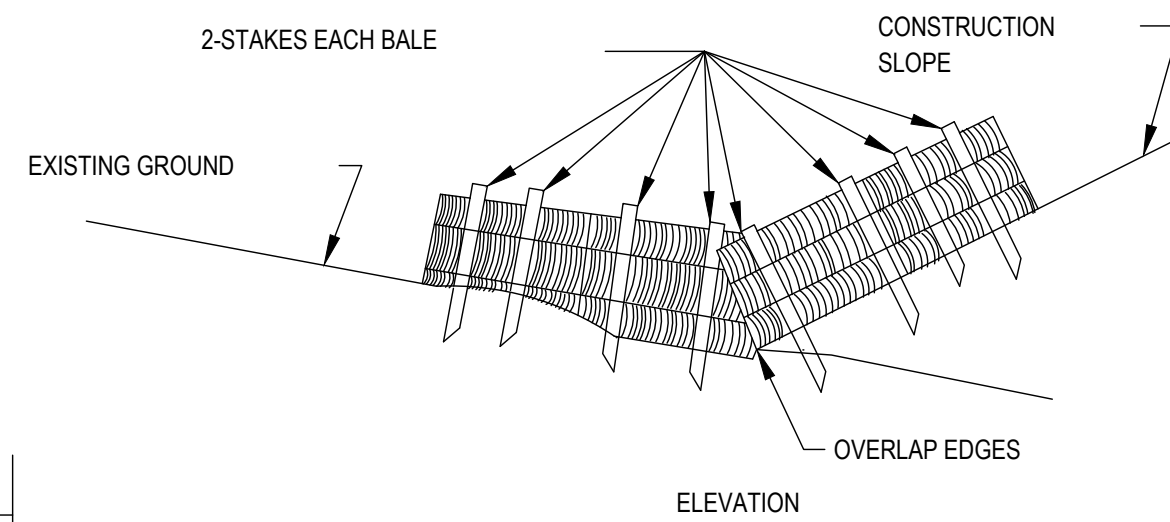
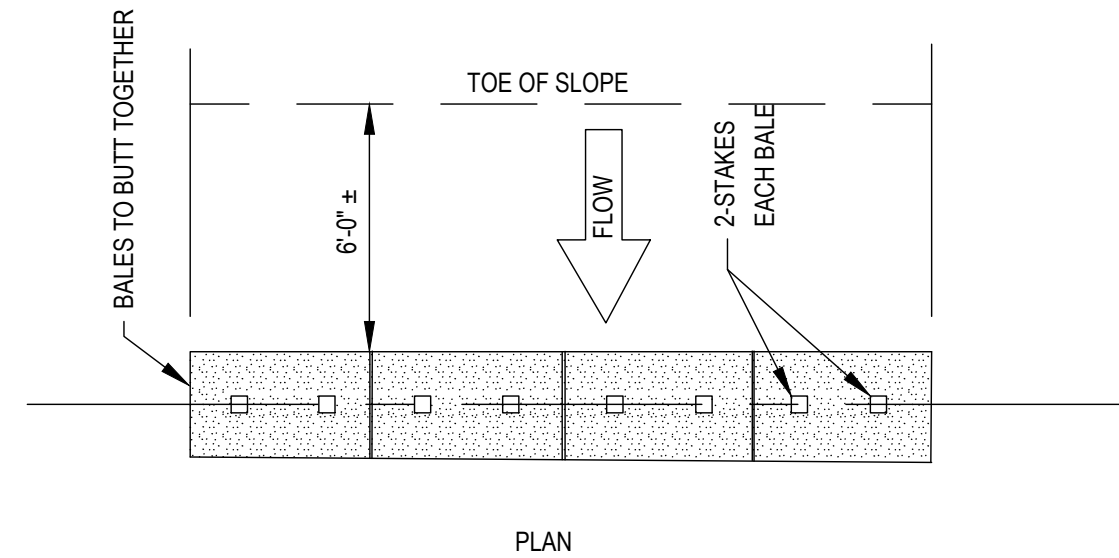
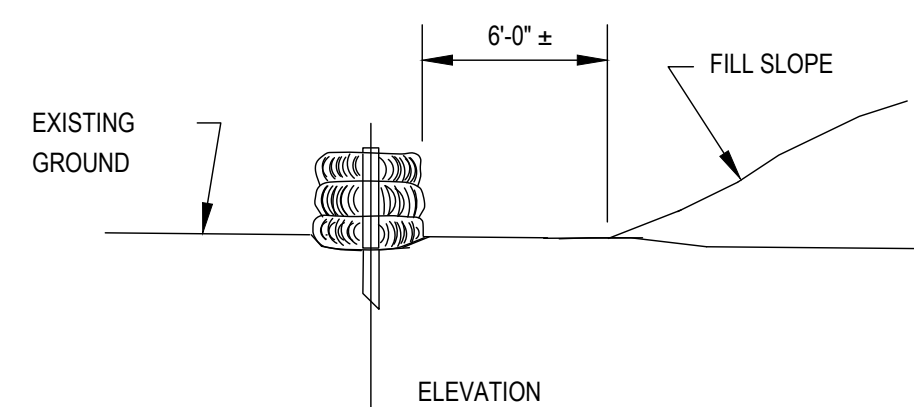


NOTES:

DETAILS PROVIDED ARE MINIMUM REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND IMPLEMENTING SUCH ADDITIONAL MEASURES AS MAY BE REQUIRED TO ENSURE SEDIMENT CONTROL.

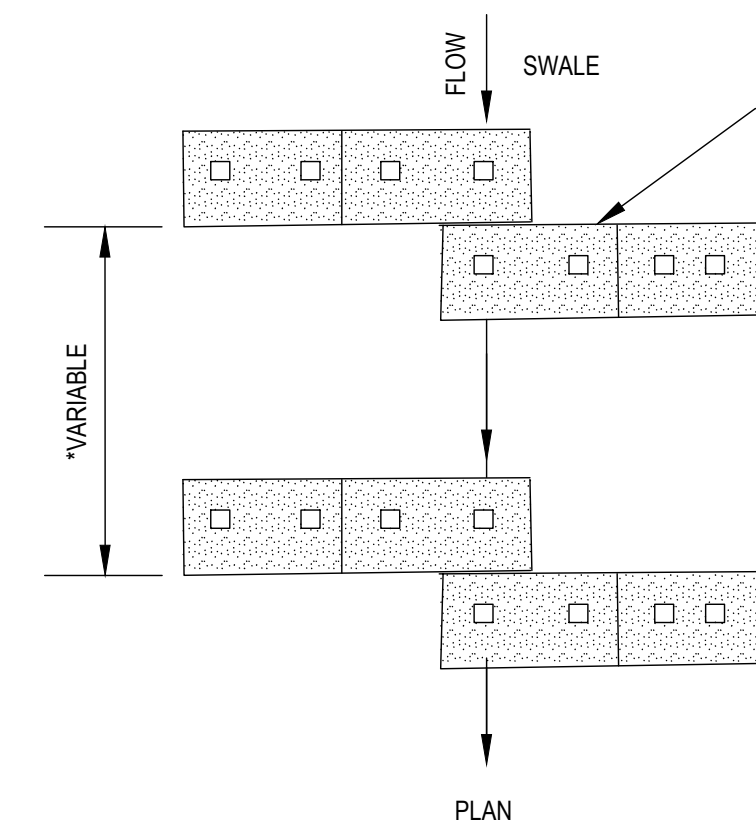
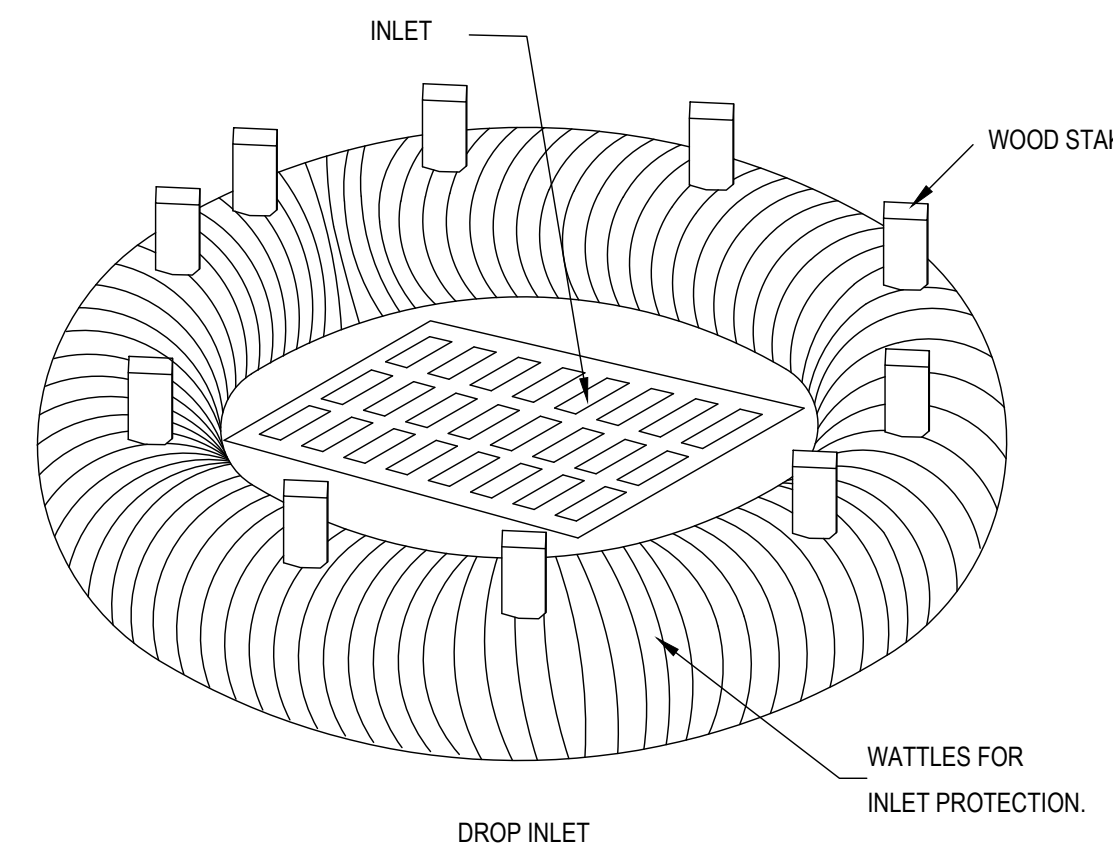


WATTLE DETAIL

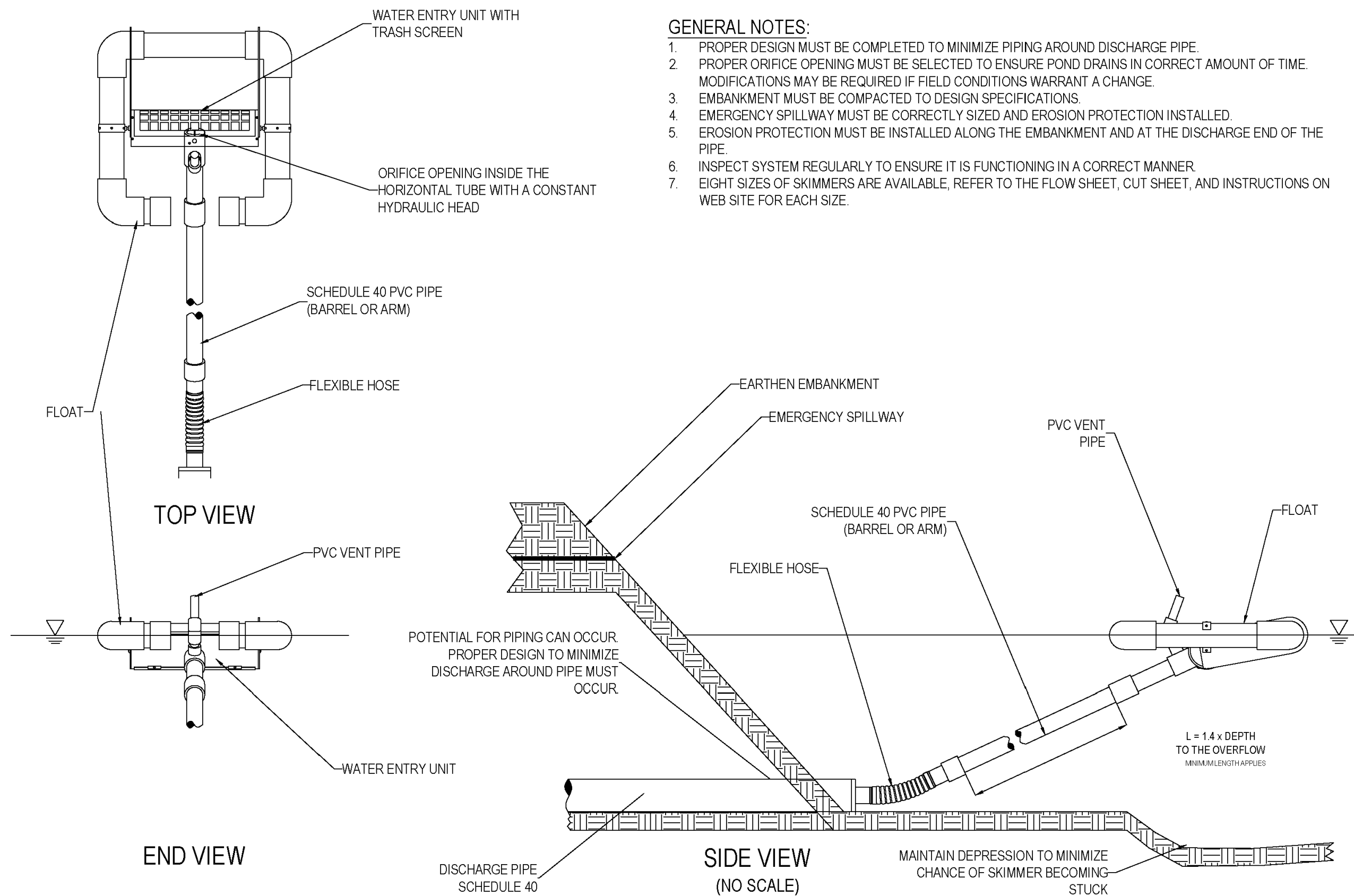


FALL OF DITCH (%)	DISTANCE* (ft)
0 - 1	100'
1 - 2	50'
>2	25'

NOTE: EMBED ALL BALES 3" MINIMUM INTO GROUND AND STAKE (2" X 2" X 36") SECURELY.



TEMPORARY EROSION CHECKS USING HAY OR STRAW BALES

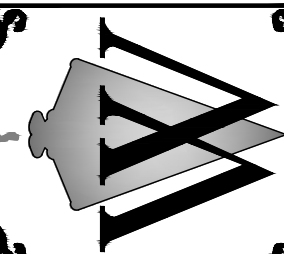


GENERAL NOTES:

1. PROPER DESIGN MUST BE COMPLETED TO MINIMIZE PIPING AROUND DISCHARGE PIPE.
2. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
3. EMBANKMENT MUST BE COMPACTED TO DESIGN SPECIFICATIONS.
4. EMERGENCY SPILLWAY MUST BE CORRECTLY SIZED AND EROSION PROTECTION INSTALLED.
5. EROSION PROTECTION MUST BE INSTALLED ALONG THE EMBANKMENT AND AT THE DISCHARGE END OF THE PIPE.
6. INSPECT SYSTEM REGULARLY TO ENSURE IT IS FUNCTIONING IN A CORRECT MANNER.
7. EIGHT SIZES OF SKIMMERS ARE AVAILABLE, REFER TO THE FLOW SHEET, CUT SHEET, AND INSTRUCTIONS ON WEB SITE FOR EACH SIZE.

1. THE OWNER OR OWNER'S REPRESENTATIVE SHALL MONITOR RUNOFF FROM THE PROJECT SITE DURING AND IMMEDIATELY FOLLOWING RAINFALL AND SHALL TAKE CORRECTIVE ACTION AS NECESSARY WITHIN 24 HOURS OF DISCOVERY OF A PROBLEM OR AS SOON AS FIELD CONDITIONS ALLOW.
2. ALL EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE EVERY CALENDAR WEEK.
3. COMMON BERMUDA GRASS SHALL BE PLANTED ON ALL SLOPES. RESOWING WILL BE REQUIRED IF SUBSEQUENT GROWTH AND COVERAGE WARRANT THE NECESSITY.
4. GROUND PREPARATION FOR VEGETATIVE PRACTICES REQUIRED FOR EROSION CONTROL SHALL CONSIST OF PLOWING AND PULVERIZING THE SOIL WITHIN THE AREA TO BE PLANTED OR SEEDED WHEN REQUIRED.
5. PRIOR TO CONSTRUCTION, TEMPORARY SILT FENCE SHALL BE INSTALLED WHERE APPLICABLE. FOR THE DURATION OF CONSTRUCTION ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED AT ALL TIMES. WHEN WORK IS DISCONTINUED IN A DISTURBED AREA, APPROPRIATE VEGETATIVE PRACTICES, (SEEDING AND MULCHING), AND STRUCTURAL PRACTICES, (I.E.: RIP RAP) MUST BE INITIATED WITHIN SEVEN CALENDAR DAYS.
6. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROLS WHEN IT REACHES 1/3 TO 1/2 THE HEIGHT OF THE CONTROL.
7. ADDITIONAL STANDARDS AND PRACTICES CAN BE FOUND IN THE PLANNING AND DEVELOPMENT MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORMWATER.
8. THE PURCHASER SHALL BE REQUIRED TO MAINTAIN THE PROPERTY IN SUCH A CONDITION AS TO MINIMIZE OFF-SITE DAMAGE FROM EROSION, SEDIMENT DEPOSITS AND STORMWATER. THIS REQUIREMENT WILL BE IN EFFECT FROM THE BEGINNING OF SITE PREPARATION AND CONTINUED THROUGH THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. PURCHASER ACKNOWLEDGES AND AGREES THAT SELLER IS NOT RESPONSIBLE FOR DAMAGES WHICH MAY BE SUFFERED BY PURCHASER OR OTHER PROPERTY OWNERS OR PARTIES AS A RESULT OF SITE PREPARATION WORK CARRIED OUT BY PURCHASER AND HIS/HER SUBCONTRACTORS. PURCHASER AGREES TO HOLD SELLER HARMLESS FROM ANY SUCH DAMAGES SUSTAINED IN CONNECTION THEREWITH.
9. IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE SEDIMENT AND CONSTRUCTION DEBRIS DOES NOT LEAVE THE SITE.

*SOURCES FOR NOTES MISSISSIPPI STANDARD SPECIFICATIONS FOR STATE AID ROAD AND BRIDGE CONSTRUCTION AND MISSISSIPPI'S PLANNING AND DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT, AND STORMWATER.



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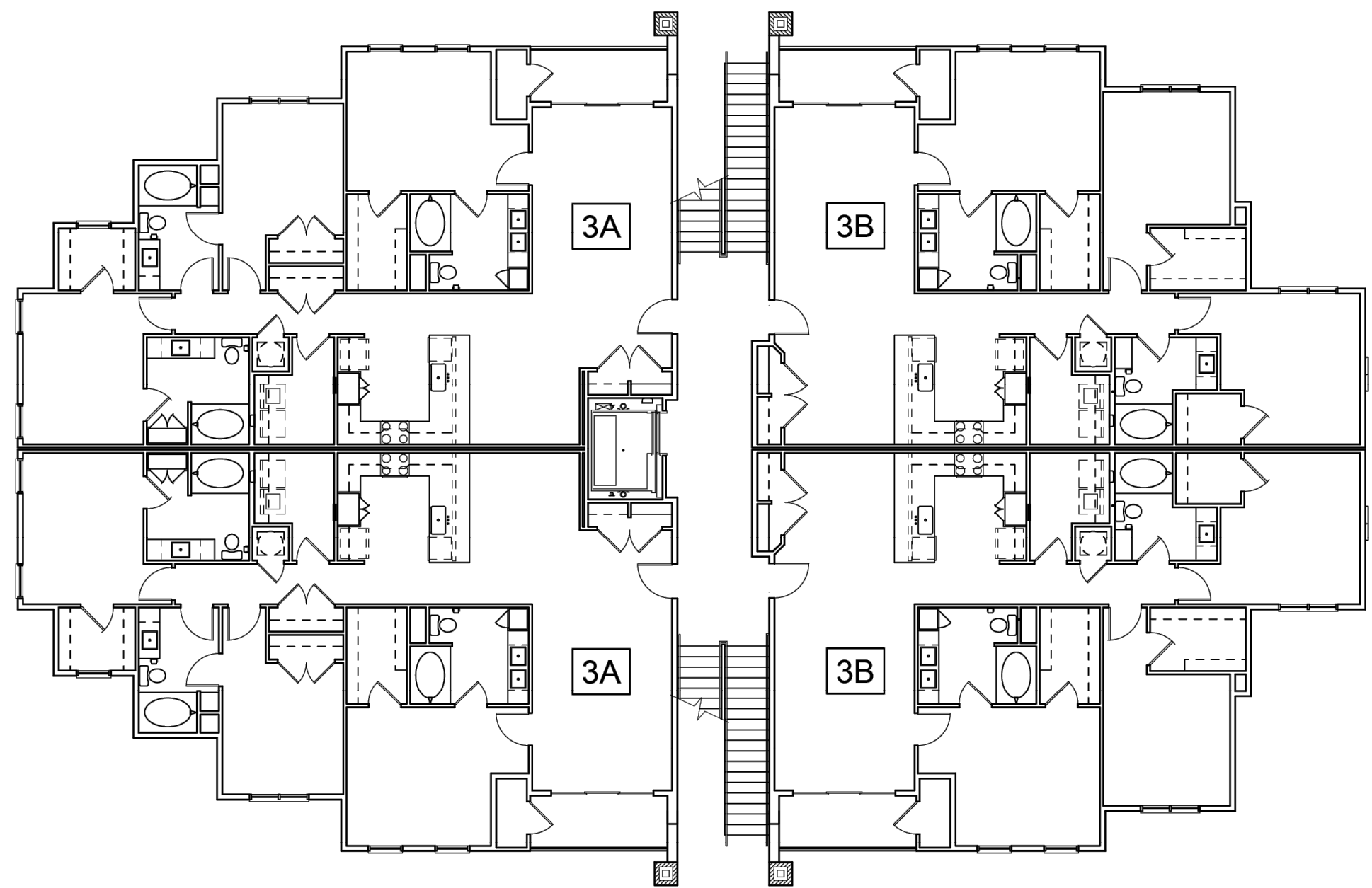
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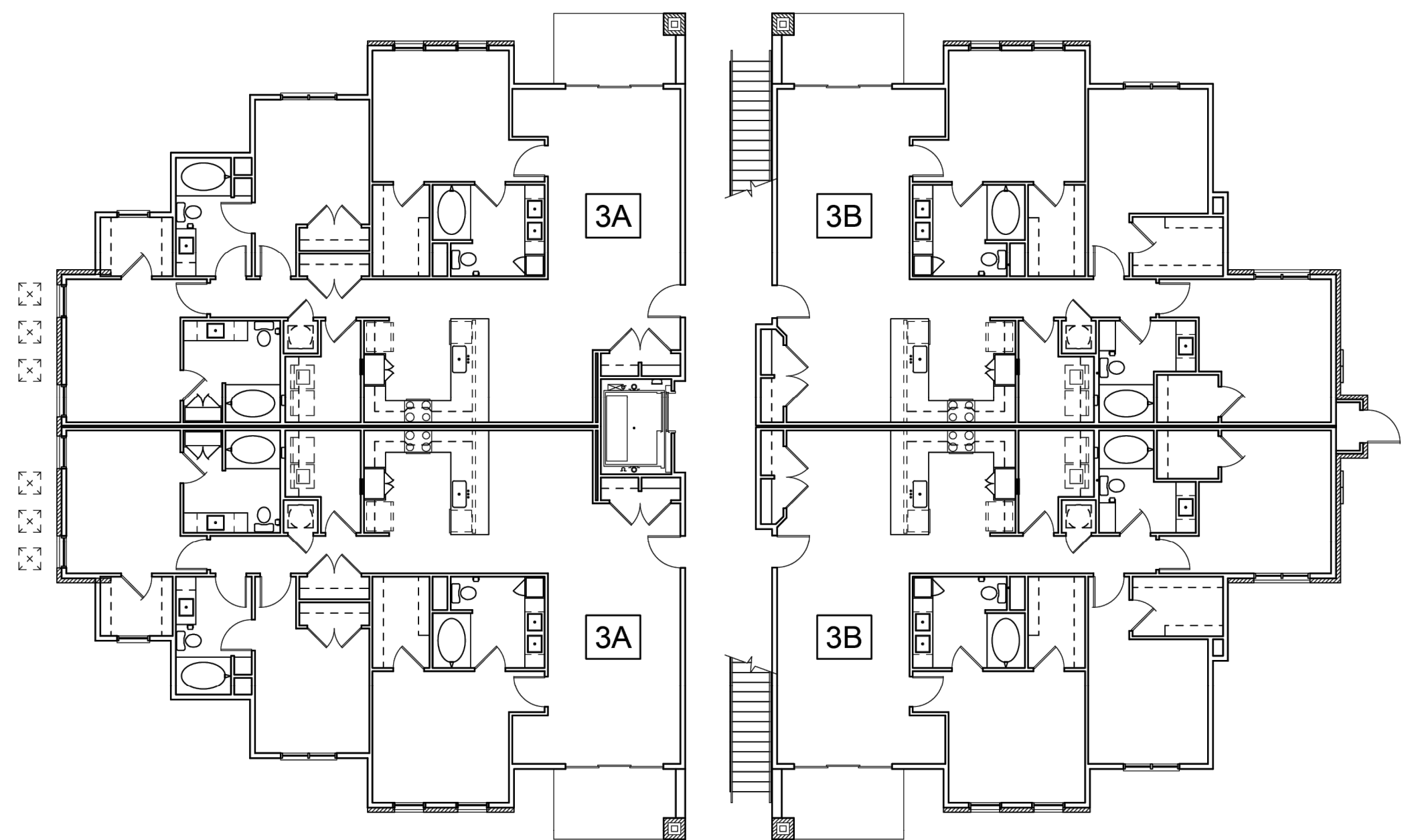
2 ELEVATION
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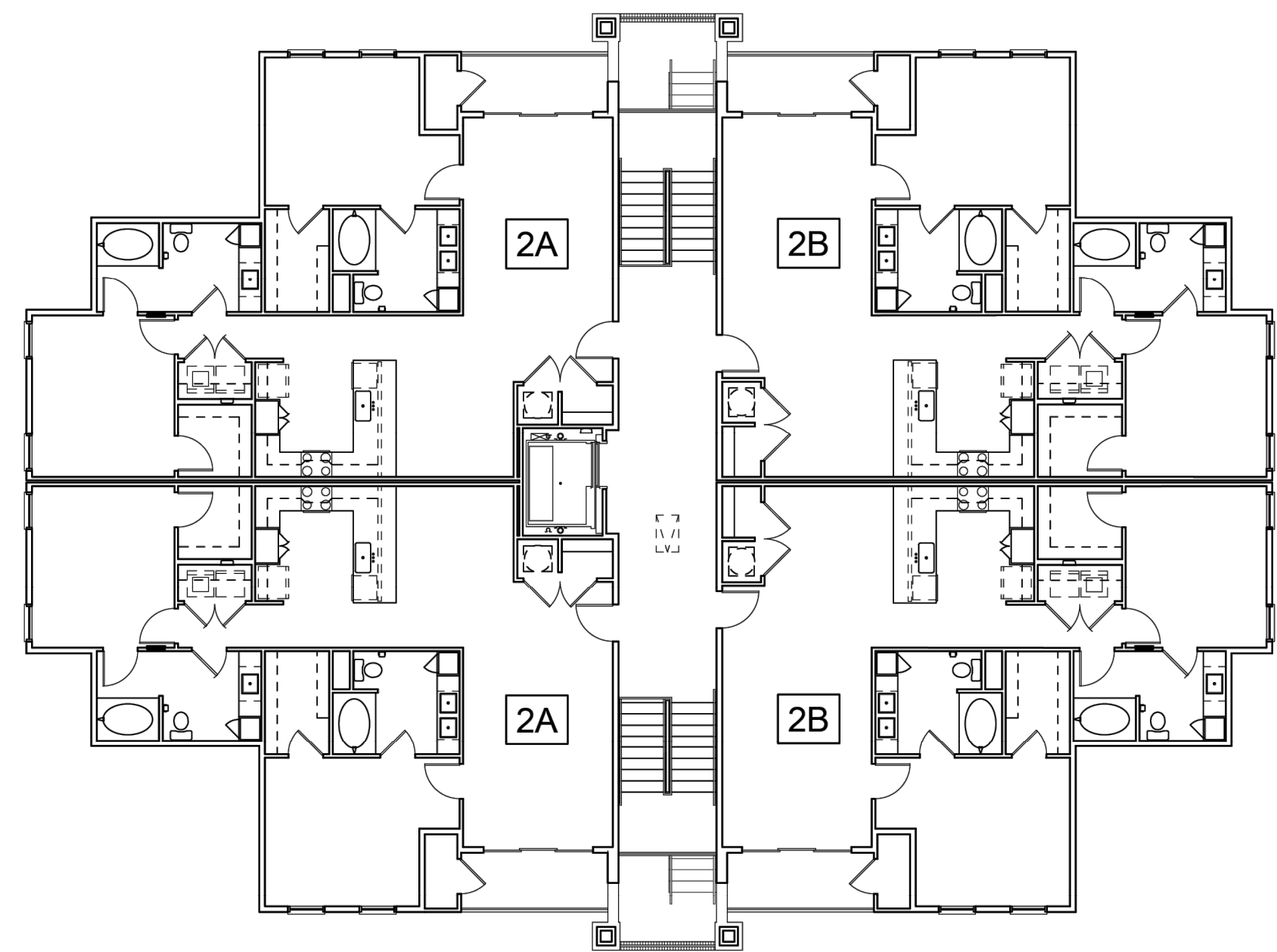
4 ELEVATION
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FIRST FLOOR PLAN

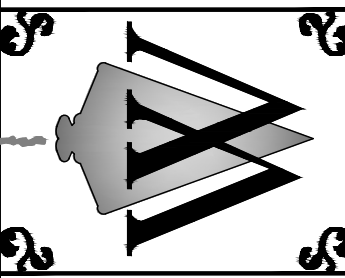


SECOND FLOOR PLAN



THIRD FLOOR PLAN

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Construction Plans For:
Lamar Lakes
County Road 101 (Old Highway 7)
Lafayette County, MS

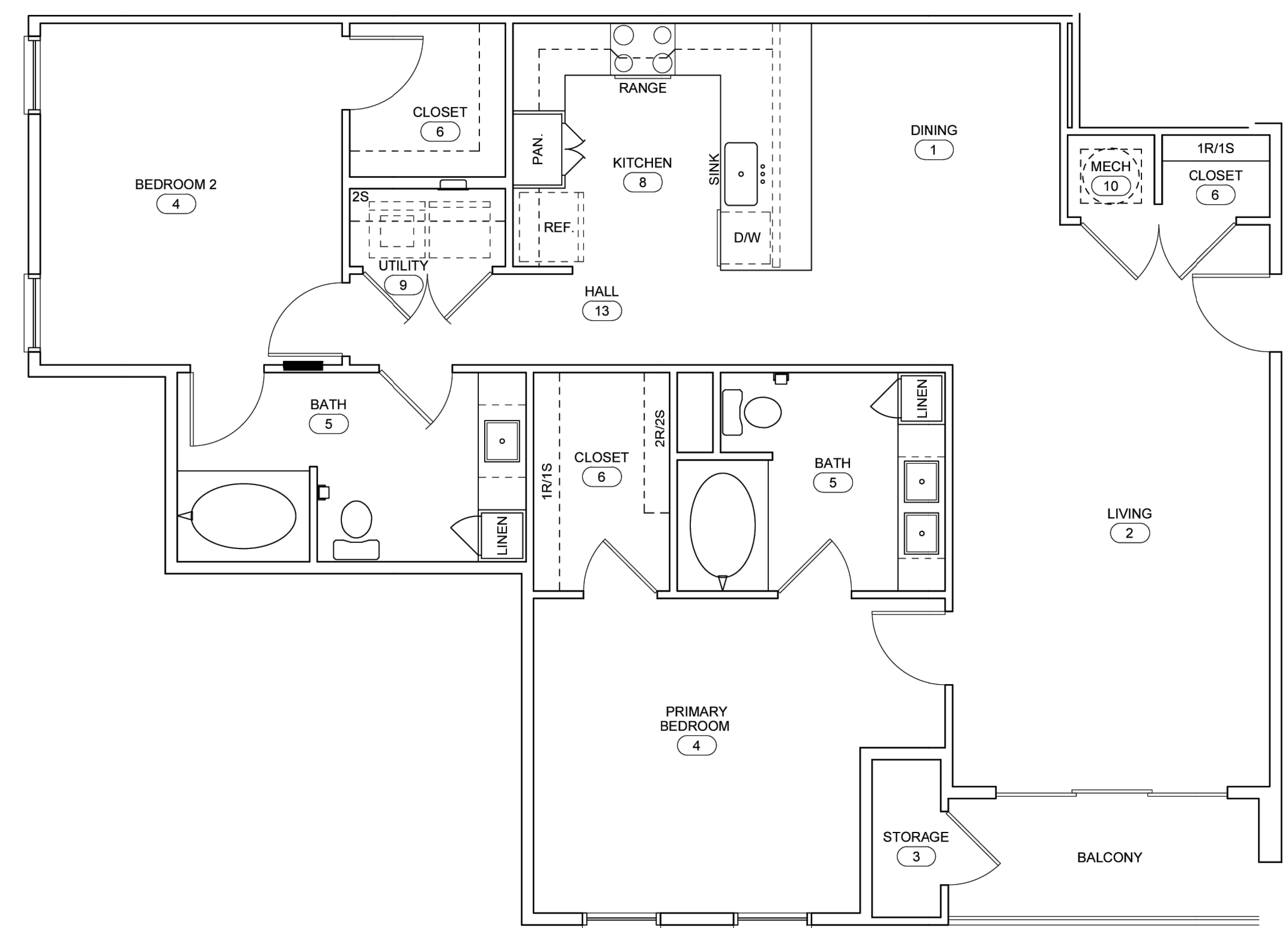
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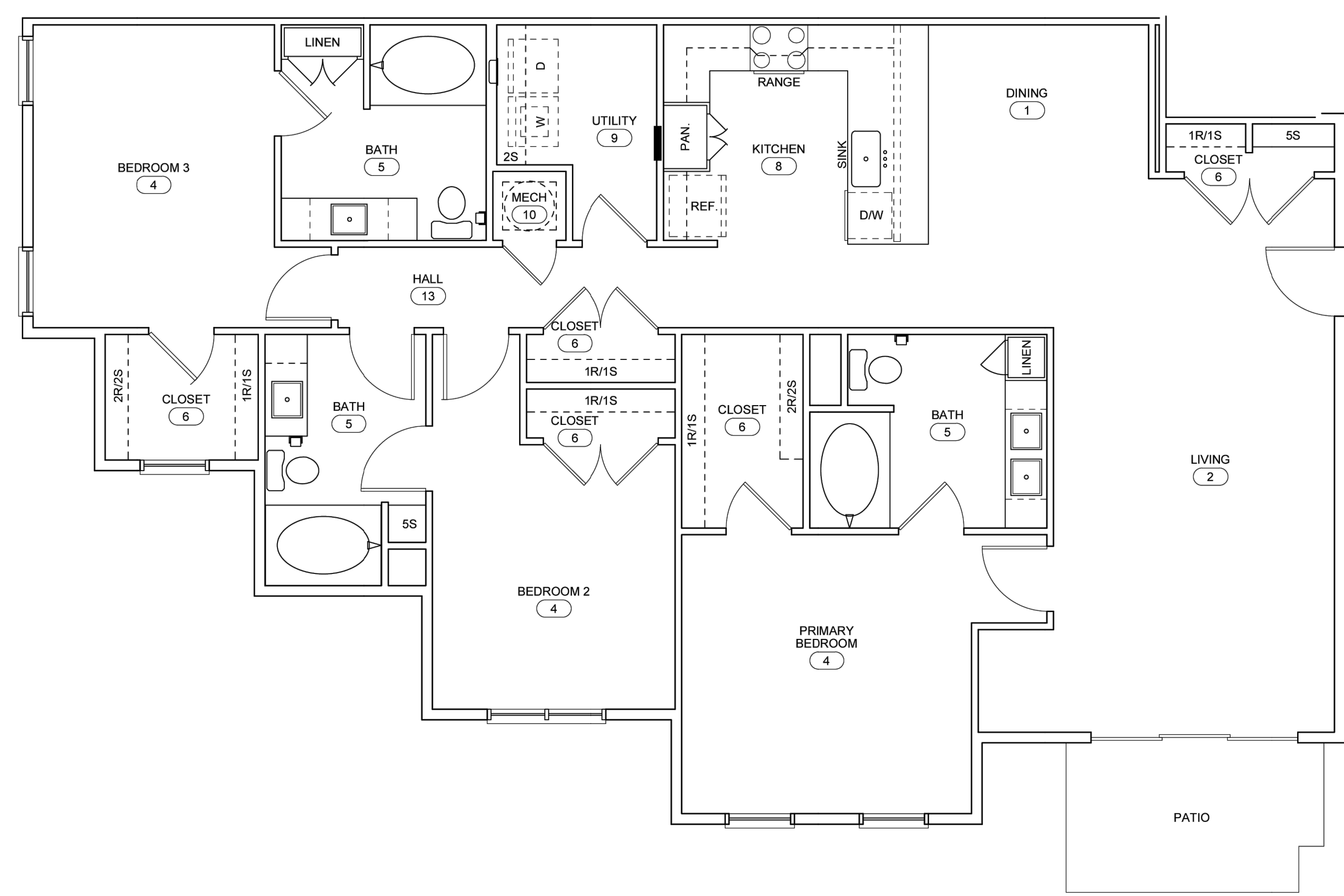
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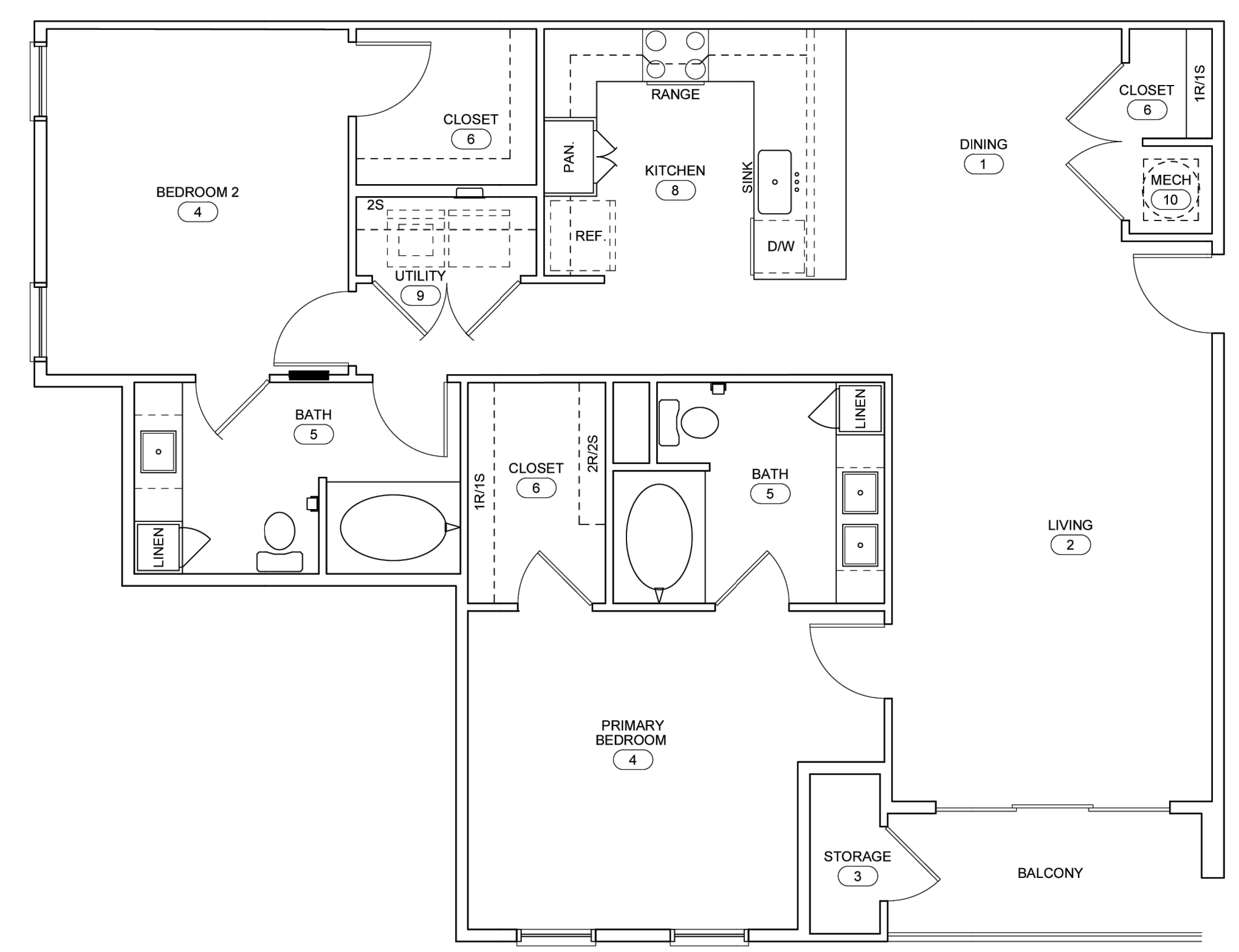
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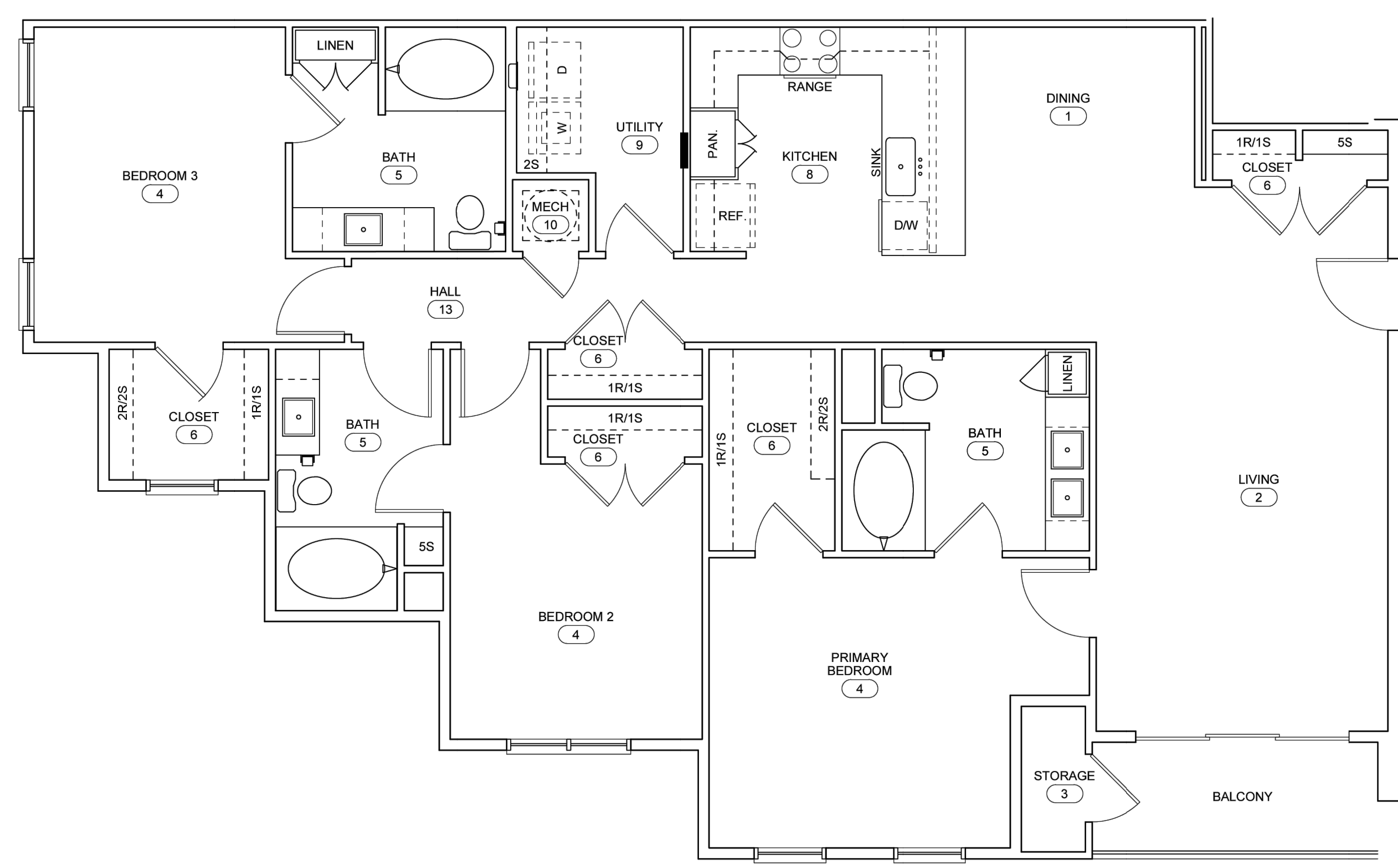
1 UNIT '2A' FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA TO INSIDE FACE OF STUD: 1,208 S.F.
AREA TO OUTSIDE FACE OF STUD: 1,300 S.F.
UNIT 2B



1 UNIT '3A' FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA TO INSIDE FACE OF STUD: 1,555 S.F.
AREA TO OUTSIDE FACE OF STUD: 1,634 S.F.
ABP-3A

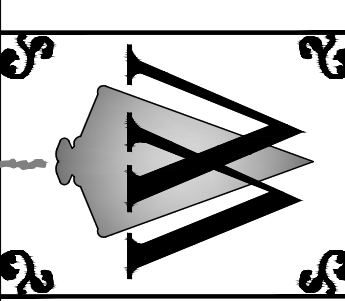


1 UNIT '2B' FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA TO INSIDE FACE OF STUD: 1,199 S.F.
AREA TO OUTSIDE FACE OF STUD: 1,288 S.F.
UNIT 2B



1 UNIT '3A' SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA TO INSIDE FACE OF STUD: 1,529 S.F.
AREA TO OUTSIDE FACE OF STUD: 1,629 S.F.
3A-SECOND

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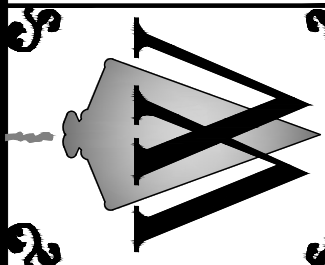
1 UNIT '3B' FIRST FLOOR PLAN

AREA TO INSIDE FACE OF STUD: 1,422 S.F.
AREA TO OUTSIDE FACE OF STUD: 1,499 S.F.



1 UNIT '3B' SECOND FLOOR PLAN

AREA TO INSIDE FACE OF STUD: 1,410 S.F.
AREA TO OUTSIDE FACE OF STUD: 1,508 S.F.



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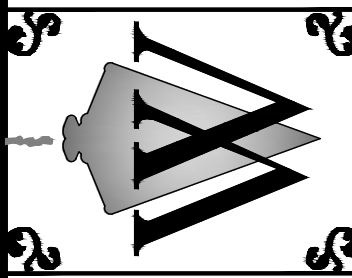
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FRONT ELEVATION "A"
SCALE: 1/4"= 1'-0"



FRONT ELEVATION "B"
SCALE: 1/4"= 1'-0"



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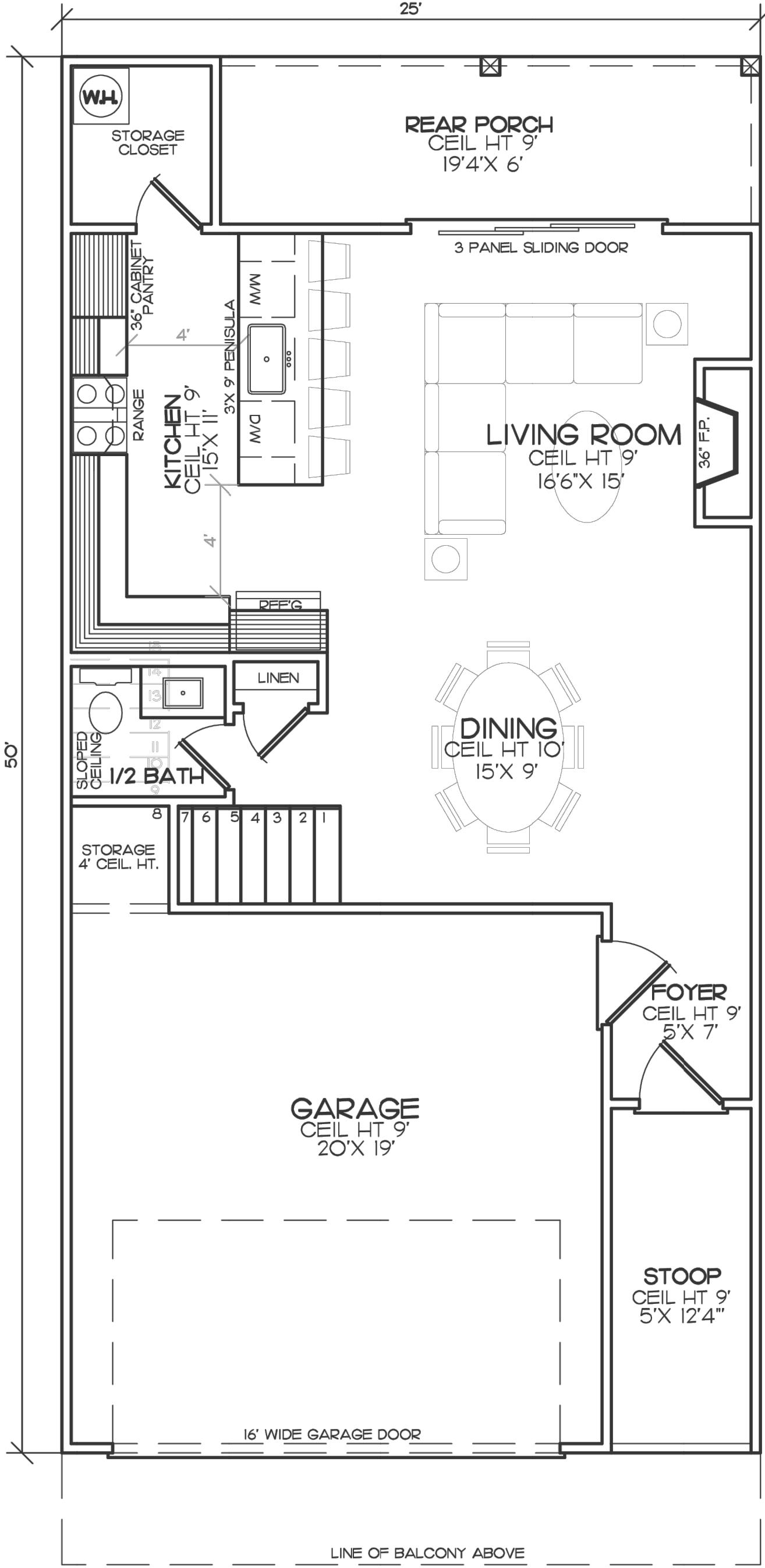
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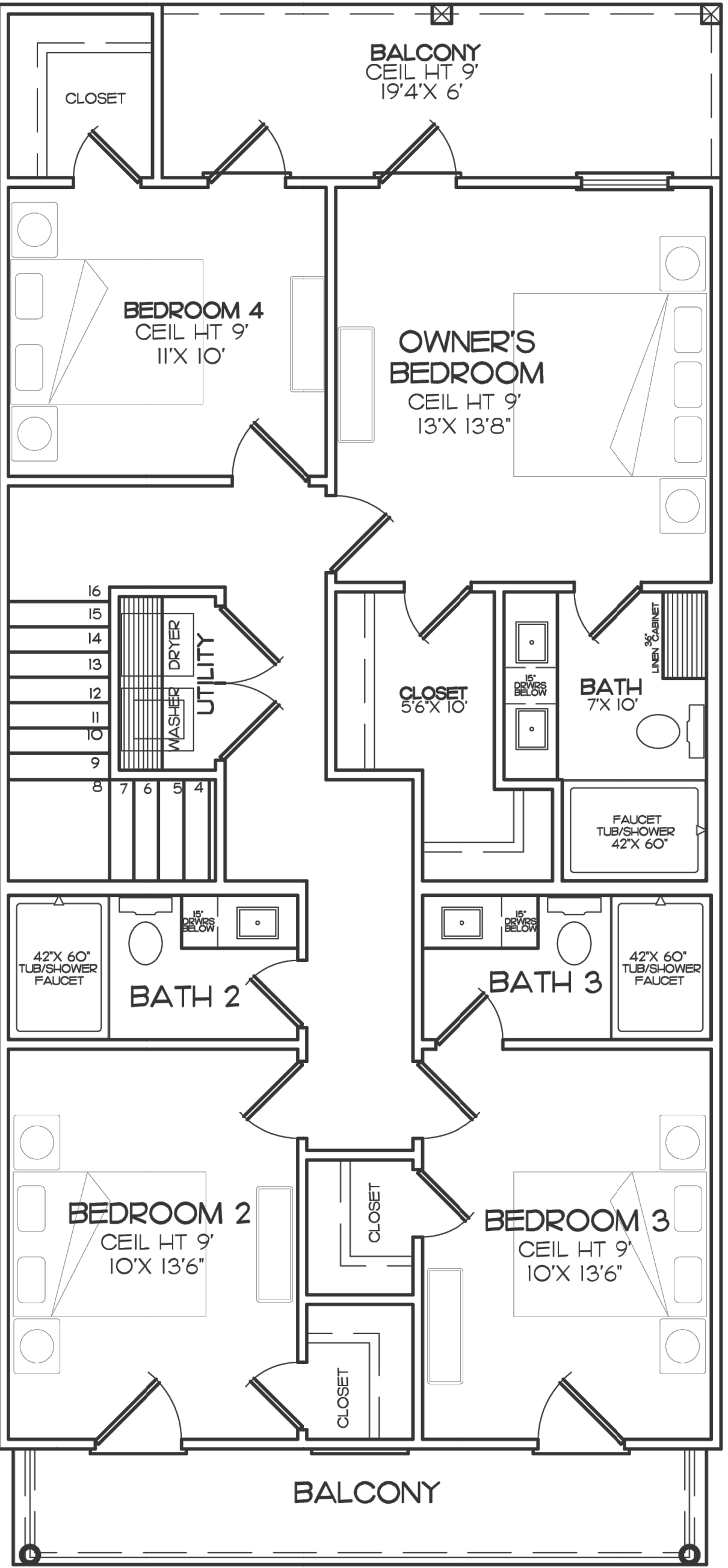
*BUILDING PLANS PROVIDED BY CLIENT

OPTION "A"
676 SQ FT FIRST FLOOR LIVING AREA
1107 SQ FT SECOND FLOOR LIVING AREA
1783 TOTAL LIVING AREA
2569 TOTAL AREA

4 BEDROOM 3 1/2 BATH
REAR PORCH
REAR BALCONY
FRONT BALCONY OPTION
DINING



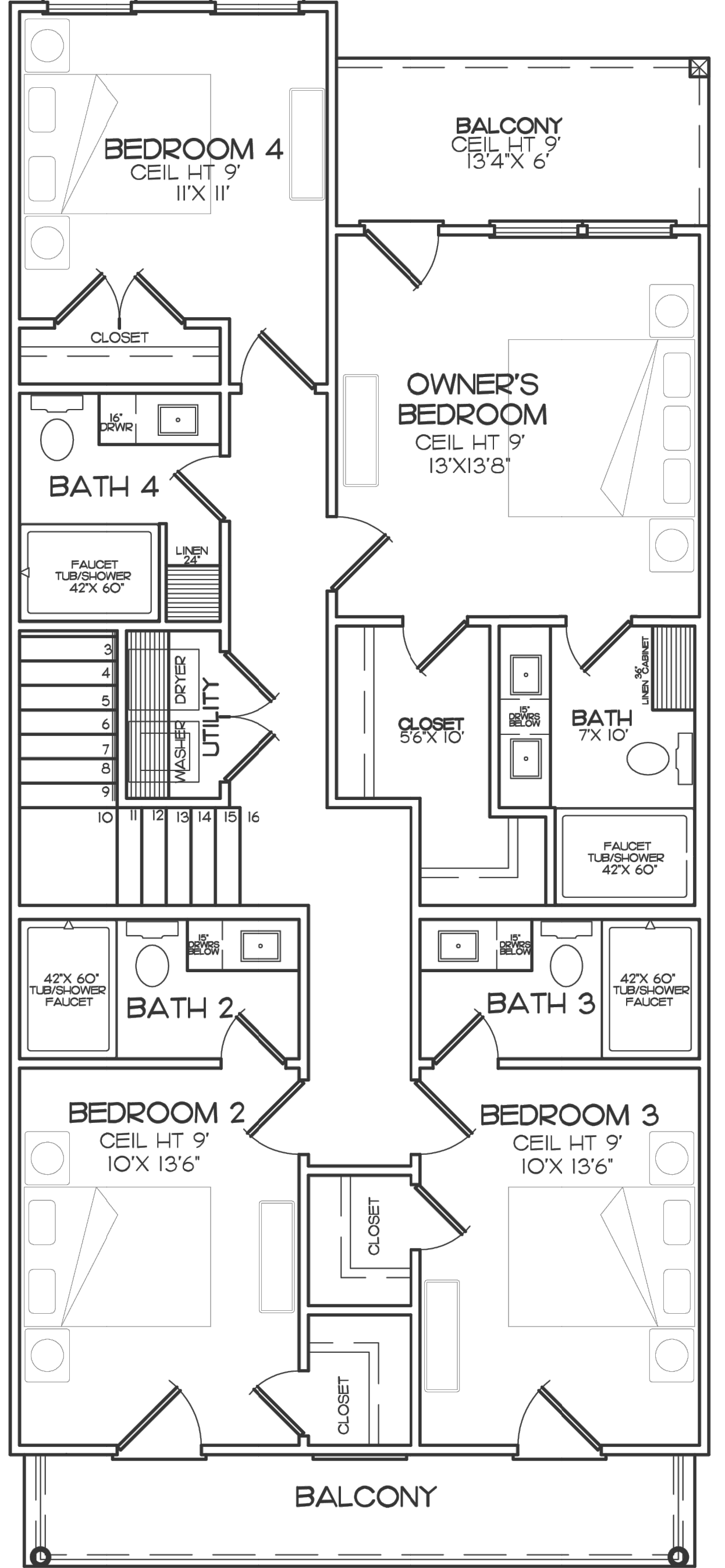
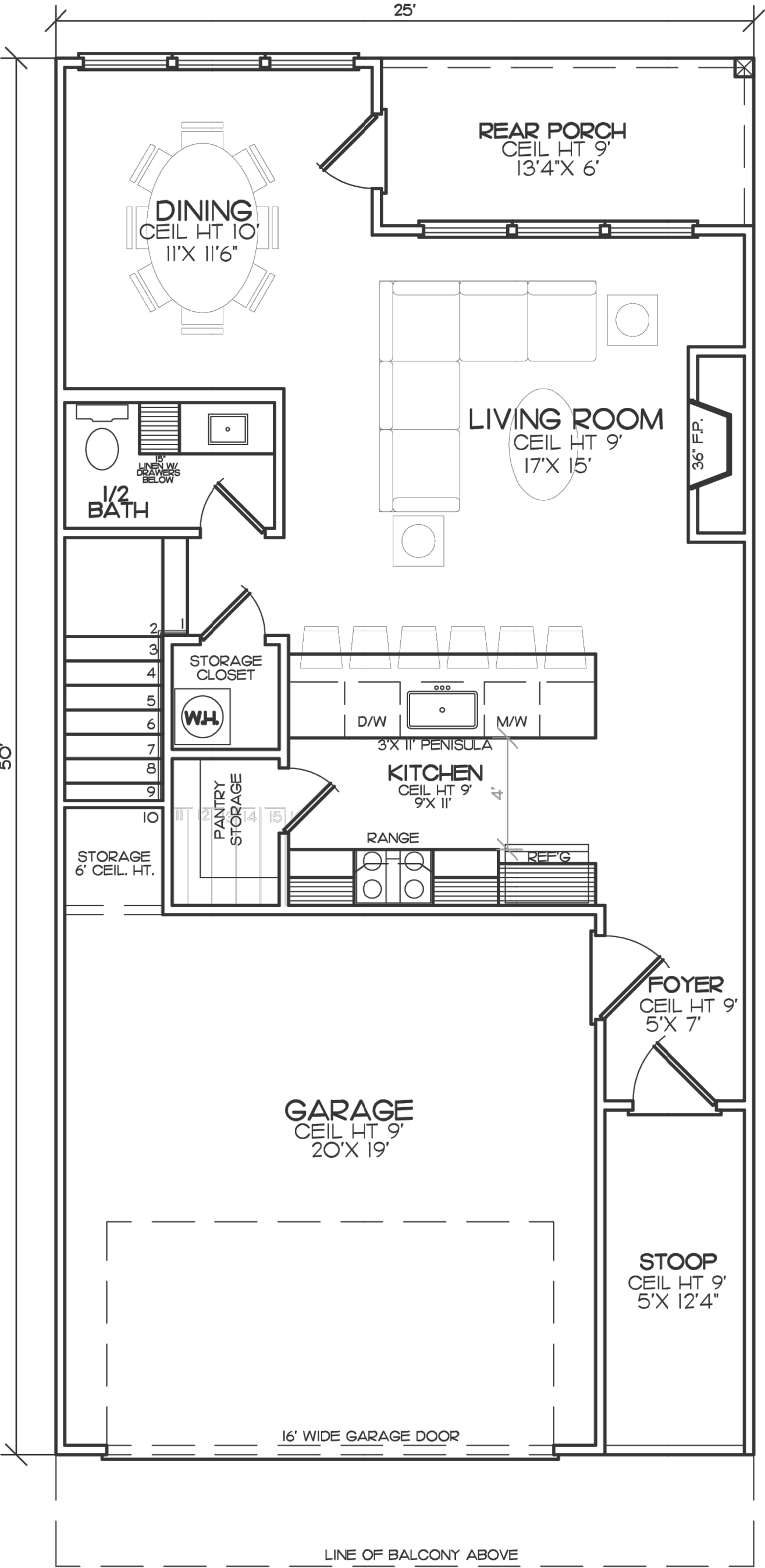
OPTION "A"
FIRST FLOOR
FLOOR PLAN
SCALE: 1/4"= 1'-0"



OPTION "A"
SECOND FLOOR
FLOOR PLAN
SCALE: 1/4"= 1'-0"

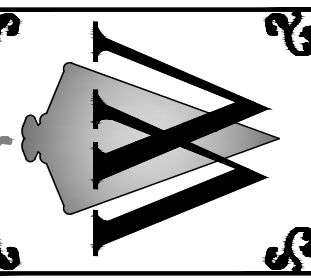
OPTION "B"
712 SQ FT FIRST FLOOR LIVING AREA
1156 SQ FT SECOND FLOOR LIVING AREA
1868 TOTAL LIVING AREA
2582 TOTAL AREA

4 BEDROOM 3 1/2 BATH
REAR PORCH
REAR BALCONY
FRONT BALCONY OPTION
DINING



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